

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 5 January 2016	Classification For General Release	
Report of Director of Planning	Ward(s) involved Hyde Park		
Subject of Report	1. Sussex Square, London, W2 2. Gloucester Square, London, W2 3. Hyde Park Square, London, W2		
Proposal	Removal of existing fences, gates and railings and installation of replacement railings and gates and associated works to boundary of communal gardens (to Sussex Square, Gloucester Square and Hyde Park Square respectively).		
Agent	Knight Frank		
On behalf of	The Church Commissioners for England		
Registered Number	Application 1 – Sussex Square 15/03105/FULL Application 2 – Gloucester Square 15/03109/FULL Application 3 – Hyde Park Square 15/03110/FULL	Date amended/ completed	30 April 2015
Date Application Received	9 April 2015		
Historic Building Grade	Unlisted		
Conservation Area	Bayswater		

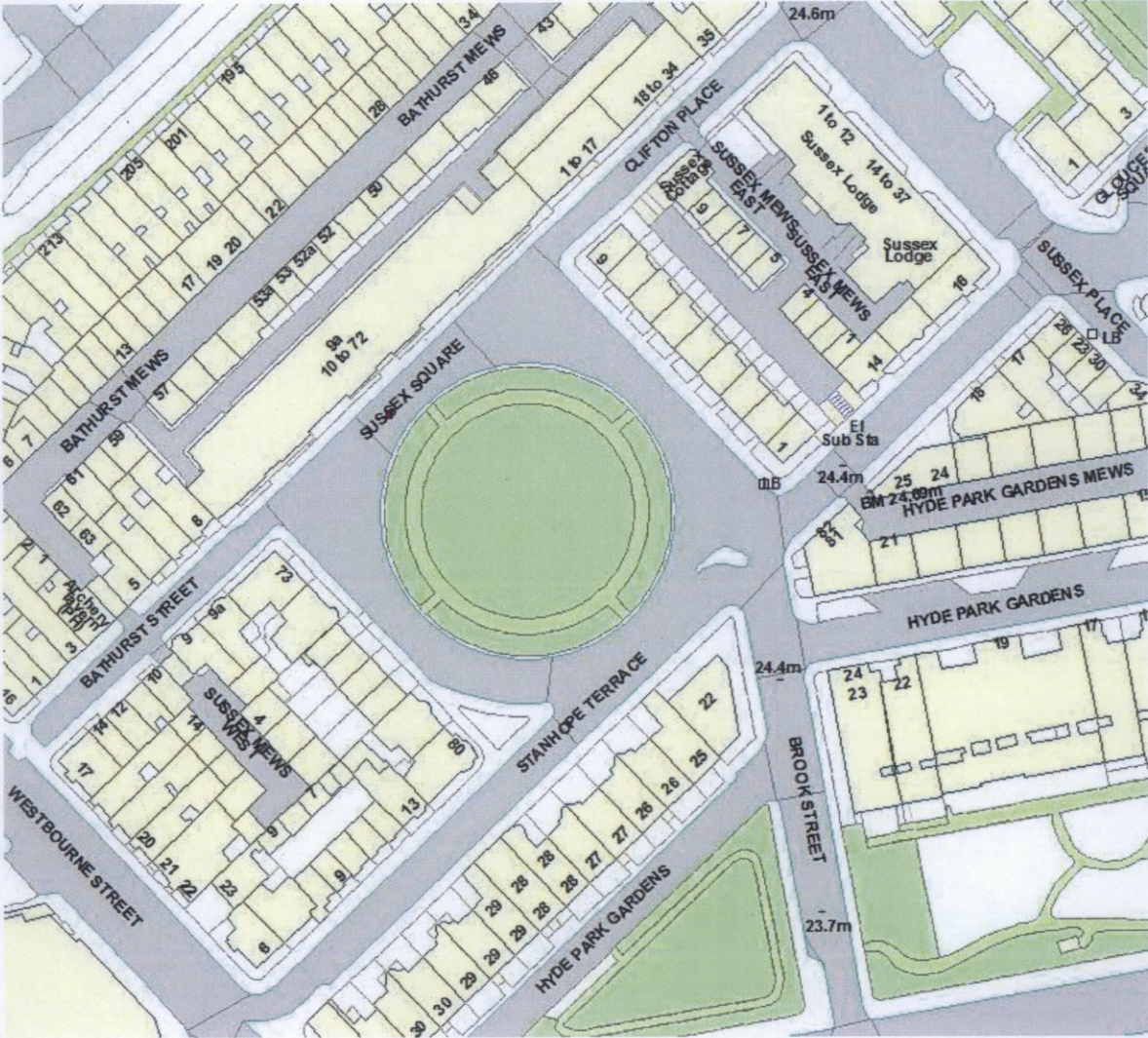
1. RECOMMENDATION

1. Application 1 (Sussex Square - 15/03105/FULL) - Grant conditional permission.
2. Application 2 (Gloucester Square - 15/03109/FULL) - Grant conditional permission.
3. Application 3 (Hyde Park Square - 15/03110/FULL) - Grant conditional permission.

2. SUMMARY

The proposed three schemes were considered by the Planning Applications Committee on 24th November 2015. The Committee resolved to defer its decision to allow for a site visit to take place. That site visit took place on 5 January 2016. Accordingly, this application is referred back to the Committee for its consideration.

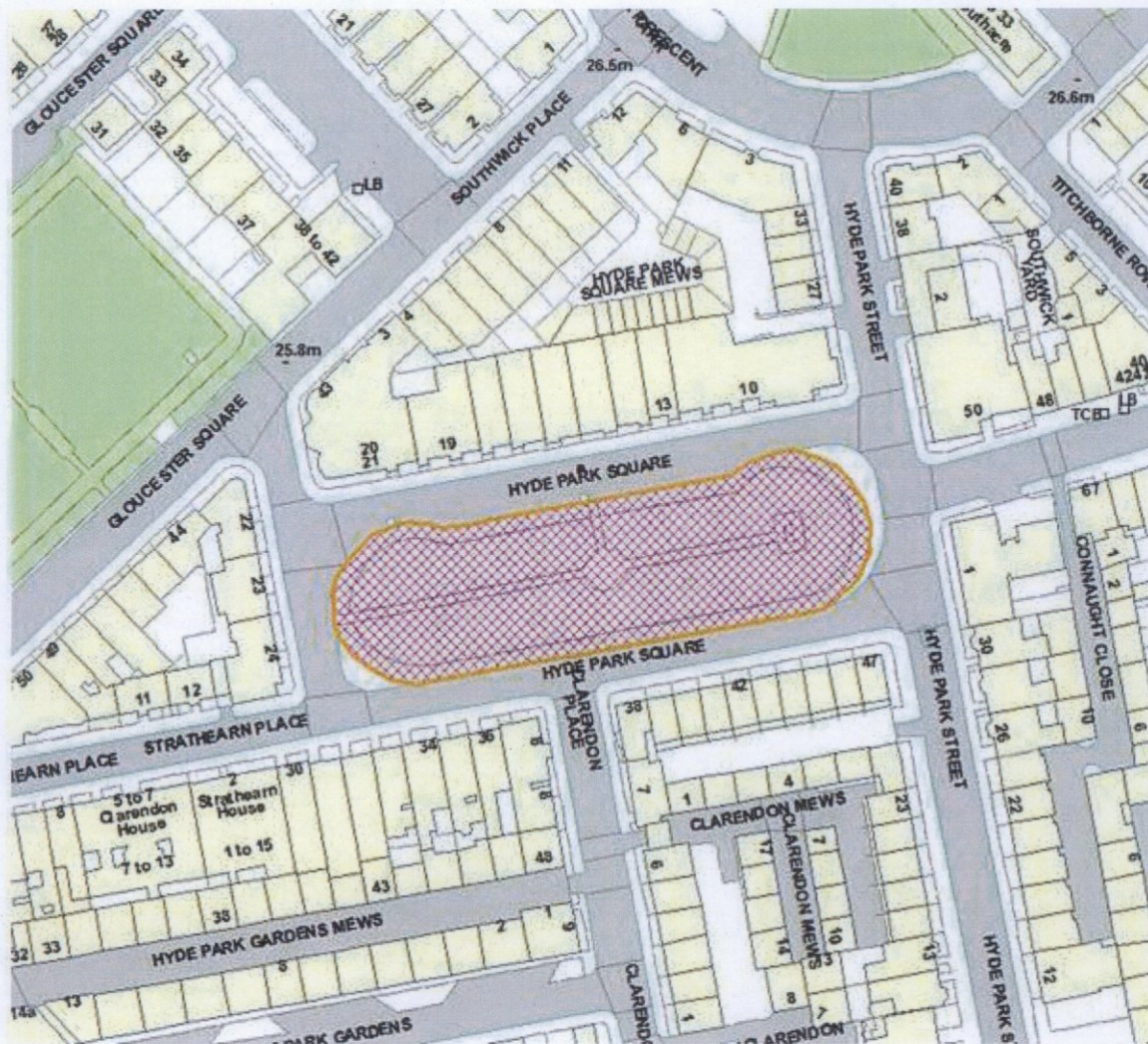
3. LOCATION PLAN



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4. PHOTOGRAPHS

Sussex Square



Gloucester Square



Hyde Park Square



5. CONSULTATIONS

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL):-

COUNCILLOR FLORU

Objects to the proposals on grounds that the removal of the existing hedge surrounding the square would adversely affect the privacy of residents using the square, that the railings would have an adverse impact upon the appearance of the square, that the cost of maintenance of the proposed railings would be borne by the residents and that the existing fence needs only low maintenance, that the traditional design of the railings is inappropriate in a square with generally modern buildings, and that the existing entrance gate is attractive and the new one is not a suitable replacement.

COUNCILLOR COX

Copy of email to local resident noting the strength of feeling of residents with regards to the scheme.

COUNCILLOR ACTON

Copy of email to local resident noting the concerns of local residents, and that further information is anticipated prior to the application being presented to the Planning Applications Committee.

Hyde Park Estate Association

State that though they are aware of the concerns of some residents, they are nonetheless supportive of the proposals. Understand that the 'garden licensees' may well have to contribute financially to the scheme. Proposals will enhance the ambience and quality of the whole estate.

Historic England (Listed Builds/Con Areas)

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

Arboricultural Section - Development Planning

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 159

Total No. of replies: 12, and in addition a petition of 63.

No. of objections: 10

No. in support: 1

Twelve letters and petition of 63 objecting on the following grounds:

- * Loss of the hedge on grounds of the visual impact of its removal on the Square.
- * The railings would encase the free flowing nature of the hedge.
- * Loss of the hedge - impact upon its provision of natural habitat.

- * Loss of the hedge on grounds of the loss of privacy.
- * Loss of the hedge on grounds of its current role in protection from noise and wind.
- * Concern expressed about the cost of the works.
- * Use of traditional railings in the context of a square with modern buildings.
- * Reference made to the proximity of the open space in Hyde Park in the context of concern at the opening up of the Square.
- * Concern about the lack of consultation with local residents.
- * Concern expressed about the generic nature of the application submissions to Sussex, Gloucester and Hyde Park Squares.
- * Concern that the works will reduce the security of the gardens and increase the fear of security.
- * View expressed commenting favourably on the appearance of the existing railings and gates, noting that they are low maintenance and secure.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL):-

WARD COUNCILLORS

Any comments to be reported verbally.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 134; Total No. of Replies: 2.

Two letters of objection on the following grounds:

- * Concern expressed about the inappropriateness of traditional railings in the context of a square where over two thirds of the buildings facing on to it have been redeveloped since the railings were removed.
- * Concern expressed that the replacement railings are 1.5m high and do not replicate the original 1.2m high railings, and that the height will isolate the square.
- * Concern expressed that the 1.5m high railings proposed are lower in height than the existing railings and will therefore compromise the security of the square, where there is direct access to some houses on the east/west side of the square.

ADVERTISEMENT/SITE NOTICE: Yes

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL):-**WARD COUNCILLORS**

Any comments to be reported verbally.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 314; Total No. of Replies: 1.

One email received concerning potential removal of Camelia trees.

ADVERTISEMENT/SITE NOTICE: Yes

6. BACKGROUND PAPERS

RESOLUTION OF AND REPORT TO PLANNING APPLICATIONS COMMITTEE DATED 24 NOVEMBER 2015.

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL):-

1. Application form
2. Emails from Councillor Floru dated 02.09.2015 and 03.09.2015.
3. Email from Councillor Cox dated 26.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.
4. Email from Councillor Acton dated 25.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.
5. Response from Historic England (Listed Builds/Con Areas), dated 29 April 2015
6. Response from Hyde Park Estate Association dated 7 December 2015
7. Memorandum from Arboricultural Manager dated 18.09.2015.
8. Letter from occupier of 15 Sussex Square, London, dated 11 May 2015
9. Letter from occupier of 24 Stanhope Terrace, London, dated 18 May 2015
10. Email from occupier of 26 Stanhope Terrace dated 24.05.2015.
11. Letter from occupier of 17 Sussex Square, London, dated 8 May 2015
12. Letter from occupier of 23 Stanhope Terrace, London, dated 18 May 2015
13. Letter from occupier of 48 Sussex Square, London, dated 16 June 2015
14. Letter from occupier of 27 Sussex Square, London, dated 18 May 2015
15. Letter from occupier of 13 Sussex Square, London, dated 1 September 2015
16. Letter from occupier of 78 Sussex Square, London, dated 13 May 2015
17. Letter from occupier of 14 Sussex Square, London, dated 5 May 2015
18. Letter from occupier of 40 Sussex Square, London, dated 5 May 2015

19. Letter from occupier of 33 Stanhope Terrace, London, dated 28 May 2015
20. Letter from occupier of Corner Lodge, 107 Sussex Gardens, dated 7 December 2015
21. Petition signed by 63 and dated July 2015

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL):-

1. Application forms.
2. Letter from Historic England dated 29.04.2015.
3. Memorandum from Arboricultural Manager dated 18.09.2015.
4. Letter from Chelwood House Freehold Company dated 10.05.2015.
5. Email from occupier of 44 Gloucester Square dated 19.06.2015.

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL):-

1. Application form.
2. Letter from Historic England dated 29 April 2015.
3. Memorandum from Arboricultural Manager dated 05 November 2015
4. Email from occupier of north side of Square.

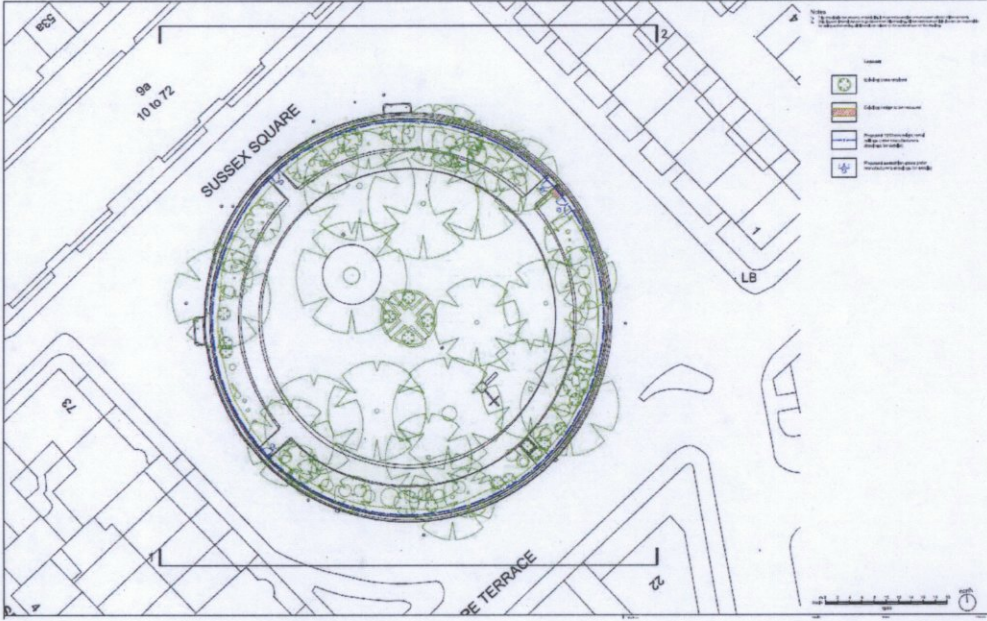
Selected relevant drawings

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

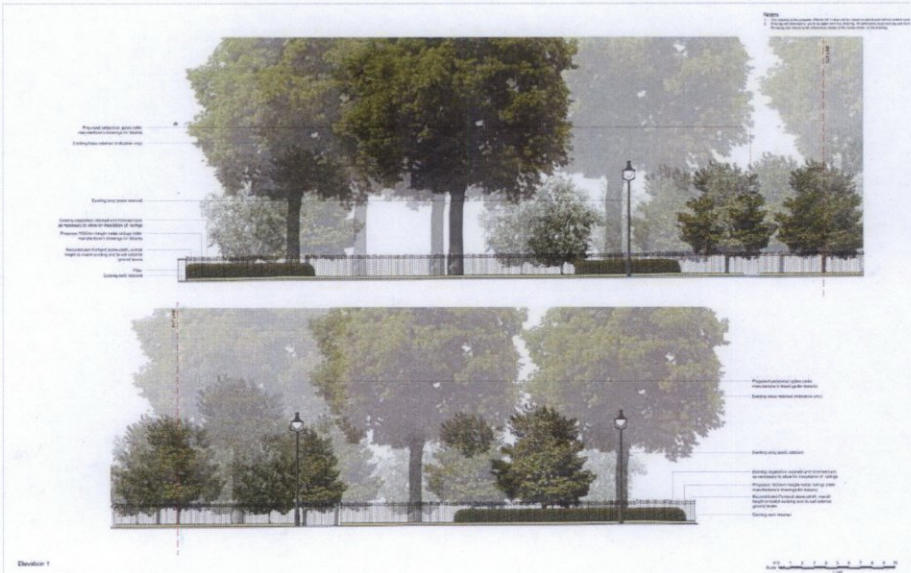
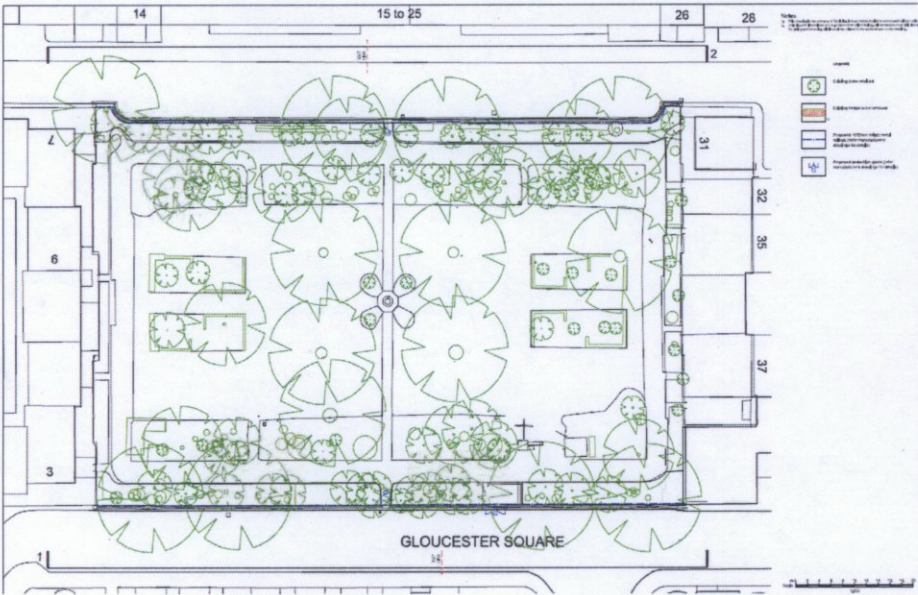
IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT ALISTAIR TAYLOR ON 020 7641 2979 OR BY EMAIL AT NorthPlanningTeam@westminster.gov.uk

7. KEY DRAWINGS

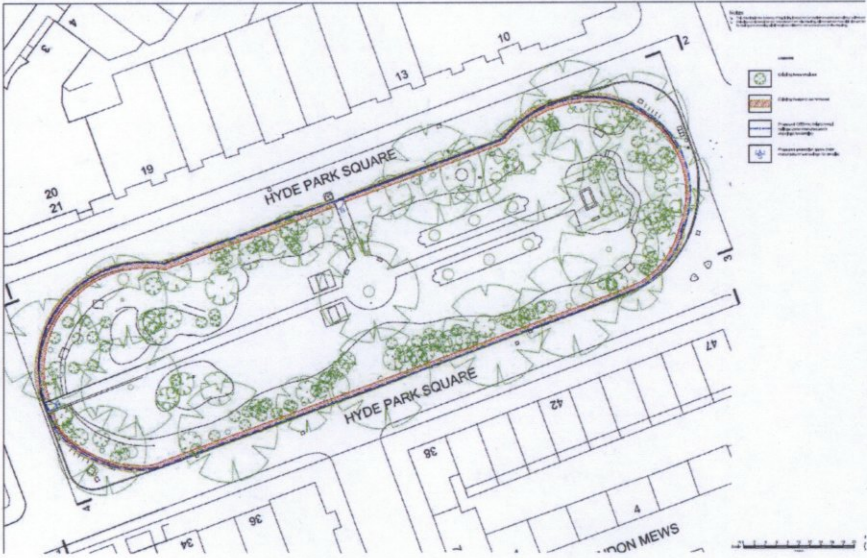
Sussex Square



Gloucester Square



Hyde Park Square



DRAFT DECISION LETTERs

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL):-

Address: Sussex Square, London, ,

Proposal: Removal of existing fences, gates and railings and installation of replacement railings and gates and associated works to boundary of communal gardens.

Plan Nos: D2292 L220, D2292 L.003, D2292 L.221B, D2292 L.222B, G-Prelim-02, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, tf1008/MS/300B, D2292 L.431, D2292 L.103B, D2292 L.430B, Planning Design and Access Statement including Heritage Statement, email from Knight Frank dated 12.05.15, 1x example photo of railings accommodating a tree

Case Officer: Alistair Taylor

Direct Tel. No. 020 7641 2979

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:, ,
* between 08.00 and 18.00 Monday to Friday;, * between 08.00 and 13.00 on
Saturday; and, * not at all on Sundays, bank holidays and public holidays., , Noisy work
must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission.

(C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no tf1008/MS/300 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 8 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil within the Square (garden). If you need to use the Square for storage or welfare you must apply to us for approval of the details of the ways in which you will protect the trees in the Square.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us., , You must then carry out the work according to the sample. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of a sample of a two railing shafts linked by a top bar including one railing with a ball finial and one with a spearhead finial - showing the thickness of railing shaft, the detailing of finials and the spacing of the railing shafts., , You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 12 Notwithstanding the details shown on 'Elevation 1' of of drawing D2292 L430C, the railings shall run continuously unless interrupted by the incorporation of gates

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)
- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (I09AC)

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL):-**Address:** Gloucester Square, London, ,**Proposal:** Removal of existing railings and installation of replacement railings and gates and associated works to boundary of communal garden.**Plan Nos:** D2292 L.200, D2292 L.001, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, G-Prelim-01, G-Prelim-01 (incorporating detail of railings/plinth accommodating tree), G-Prelim-02, D2292 L.410E, D2292 L.411E, D2292 L.201B, D2292 L.202B, D2292 L.203B, D2292 L.413, D2292 L.412, D2292 L.101B, tf1008/MS/301B, Planning Design and Access Statement including Heritage Assessment dated 08.04.15, email from Knight Frank dated 12.05.2015, 1x example photograph of railings accommodating a tree**Case Officer:** Alistair Taylor**Direct Tel. No.** 020 7641 2979**Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no tf1008/MS/301 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies

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- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

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- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to the sample. (C26DB)

Reason:

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You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in

S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

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- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)
- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (I09AC)

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL):-

Address: Hyde Park Square, London, ,

Proposal: Removal of existing railings and installation of replacement railings and gates and associated works to boundary of communal garden.

Plan Nos: D2292 L.002, D2292 L.211B, D2292 L.212B, G-Prelim-02, un-numbered drawing titled 'Railings At Tree Locations GA' from MetalCraft dated 21.08.15, G-Prelim-01, G-Prelim-01 (incorporating detail of railings/plinth accommodating tree), tf1008/MS/302B, D2292 L.210, D2292 L.420C, D2292 L.421E, D2292 L.422C, D2292 L.425, D2292 L.424, D2292 L.423, D2292 L.102B, Planning Design and Access Statement including Heritage Assessment, email from Knight Frank dated 12.05.15, 1x example photo of railings accommodating a tree

Case Officer: Alistair Taylor

Direct Tel. No. 020 7641 2979

Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the

character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The gates and railings shall be formed in black painted metal, and shall be maintained in that colour thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 6 You must protect the trees according to the details, proposals, recommendations and supervision schedule set out in your Arboricultural Method Statement (drawing no tf1008/MS/302 Rev B). The methods of working and arboricultural supervision schedule must be carried out according to the submitted details. If you need to revise any of these tree protection provisions, you must apply to us for our approval of the revised details, and you must not carry out work the relevant part of the development until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 7 You must submit a written report to us within 5 days of each arboricultural monitoring visit in relation to the Work Stages listed in Table 2 of the Arboricultural Method Statement. The arboricultural monitoring and reporting must be carried out by a suitably qualified and experienced arboricultural consultant.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 8 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil within the Square (garden). If you need to use the Square for storage or welfare you must apply to us for approval of the details of the ways in which you will protect the trees in the Square.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 9 Notwithstanding the recommendations in the AMS, any work under or around any of the retained trees must not damage the branches of the trees or the roots over 25mm in diameter. If you uncover any roots of this diameter, you must build bridge foundations around them.

Reason:

To protect the trees and the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 10 You must apply to us for approval of a sample of the reconstituted stone for the plinth to the railings. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to the sample. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of a sample of a two railing shafts linked by a top bar including one railing with a ball finial and one with a spearhead finial - showing the thickness of railing shaft, the detailing of finials and the spacing of the railing shafts.

You must not start work until we have approved what you have sent us. You must then carry out the work according to these samples. (C26CB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we

adopted in January 2007. (R26BE)

- 12 You must apply to us for approval of detailed drawings of a soft landscaping scheme which includes the number, size, species and position of trees and shrubs in any areas where existing shrubs/hedging adjacent to the line of the new railings is to be removed. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within 1 year of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within 3 years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development and its contribution to biodiversity and the local environment, as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17 and DES 1 (A) of our Unitary Development Plan that we adopted in January 2007. (R30AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 3 Some of the trees on the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)
- 4 You need to speak to our Highways section about any work which will affect public roads. This includes new pavement crossovers, removal of redundant crossovers, changes in threshold levels, changes to on-street parking arrangements, and work which will affect pavement vaults. You will have to pay all administration, design, supervision and other costs of the work. We will carry out any work which affects the highway. When considering the desired timing of highway

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works in relation to your own development programme please bear in mind that, under the Traffic Management Act 2004, all works on the highway require a permit, and (depending on the length of the highway works) up to three months advance notice may need to be given. For more advice, please phone 020 7641 2642. However, please note that if any part of your proposals would require the removal or relocation of an on-street parking bay, this is unlikely to be approved by the City Council (as highway authority). (109AC)

3 SUSSEX SQUARE, GLOUCESTER SQUARE, HYDE PARK SQUARE, W2

Removal of existing fences, gates and railings and installation of replacement railings and gates and associated works to boundary of communal garden (to Sussex Square, Gloucester Square and Hyde Park Square respectively).

A late representation was received in the form of a petition objecting to the Sussex Square application (July 2015).

RESOLVED: The applications be deferred in order that the Committee carry out site visits to the respective locations.

APPENDIX

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3

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 24 November 2015	Classification For General Release	
Report of Director of Planning	Wards involved Hyde Park		
Subject of Report	<ol style="list-style-type: none"> 1. Sussex Square, London, W2 2. Gloucester Square, London, W2 3. Hyde Park Square, London, W2 		
Proposal	Removal of existing fences, gates and railings and installation of replacement railings and gates and associated works to boundary of communal gardens (to Sussex Square, Gloucester Square and Hyde Park Square respectively).		
Agent	Knight Frank LLP		
On behalf of	The Church Commissioners for England		
Registered Number	Application 1 – Sussex Square 15/03105/FULL Application 2 – Gloucester Square 15/03109/FULL Application 3 – Hyde Park Square 15/03110/FULL	TP / PP No	TP/25701
Date of Application	09.04.2015	Date amended/ completed	04.11.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Bayswater		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Application 1 (Sussex Square - 15/03105/FULL) - Grant conditional permission.
2. Application 2 (Gloucester Square - 15/03109/FULL) - Grant conditional permission.
3. Application 3 (Hyde Park Square - 15/03110/FULL) - Grant conditional permission.

2. SUMMARY

Three separate applications (one for each Square) have been submitted proposing to remove the existing fencing, railings and gates around the central landscaped areas to three of the squares within Bayswater; namely Sussex Square, Gloucester Square and Hyde Park Square, and to replace them with new railings and gates. These three squares are all within the Bayswater Conservation Area, and the central landscaped areas to all three squares are listed in the London Squares Preservation Act of 1931. At some point in the mid 20th century the original boundary railings which formerly surrounded these landscaped garden areas were removed and replaced principally by chain link fencing.

Objections and concerns have been received relating to all three applications.

The key issues in these cases are:

- The impact of the proposed works upon the character and appearance of the Bayswater Conservation Area and, as appropriate, the setting of surrounding Grade II listed buildings.
- The impact of the proposed works on the trees and landscaping cover to the garden areas.
- The impact of the proposed works upon the adjacent public highway.

The proposals for each of the three squares are considered to accord with the relevant policies within the Westminster City Plan: Strategic Policies and the Unitary Development Plan (UDP) adopted in January 2007 and all three applications are recommended for approval.

3. CONSULTATIONS

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL):-

COUNCILLOR FLORU

Objects to the proposals on grounds that the removal of the existing hedge surrounding the square would adversely affect the privacy of residents using the square, that the railings would have an adverse impact upon the appearance of the square, that the cost of maintenance of the proposed railings would be borne by the residents and that the existing fence needs only low maintenance, that the traditional design of the railings is inappropriate in a square with generally modern buildings, and that the existing entrance gate is attractive and the new one is not a suitable replacement.

COUNCILLOR COX

Copy of email to local resident noting the strength of feeling of residents with regards to the scheme.

COUNCILLOR ACTON

Copy of email to local resident noting the concerns of local residents, and that further information is anticipated prior to the application being presented to the Planning Applications Committee.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 163; Total No. of Replies: 12.

Twelve letters of objection on the following grounds:

- Loss of the hedge on grounds of the visual impact of its removal on the Square.
- The railings would encase the free flowing nature of the hedge.
- Loss of the hedge - impact upon its provision of natural habitat.
- Loss of the hedge on grounds of the loss of privacy.
- Loss of the hedge on grounds of its current role in protection from noise and wind.
- Concern expressed about the cost of the works.
- Use of traditional railings in the context of a square with modern buildings.
- Reference made to the proximity of the open space in Hyde Park in the context of concern at the opening up of the Square.
- Concern about the lack of consultation with local residents.
- Concern expressed about the generic nature of the application submissions to Sussex, Gloucester and Hyde Park Squares.
- Concern that the works will reduce the security of the gardens and increase the fear of security.
- View expressed commenting favourably on the appearance of the existing railings and gates, noting that they are low maintenance and secure.

ADVERTISEMENT/SITE NOTICE: Yes

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL):-**WARD COUNCILLORS**

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 134; Total No. of Replies: 2.

Two letters of objection on the following grounds:

- Concern expressed about the inappropriateness of traditional railings in the context of a square where over two thirds of the buildings facing on to it have been redeveloped since the railings were removed.
- Concern expressed that the replacement railings are 1.5m high and do not replicate the original 1.2m high railings, and that the height will isolate the square.

- Concern expressed that the 1.5m high railings proposed are lower in height than the existing railings and will therefore compromise the security of the square, where there is direct access to some houses on the east/west side of the square.

ADVERTISEMENT/SITE NOTICE: Yes

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL):-

WARD COUNCILLORS

Any comments to be reported verbally.

HISTORIC ENGLAND

Recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of the City Council's specialist conservation advice.

HYDE PARK ESTATE ASSOCIATION

Any comments to be reported verbally.

ARBORICULTURAL MANAGER

Raise no objections, subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 314; Total No. of Replies: 1.

One email received concerning potential removal of Camelia trees.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Sites

Sussex Square, Gloucester Square and Hyde Park Square are all within the Bayswater Conservation Area, and the central landscaped areas to all three squares are listed in the London Squares Preservation Act of 1931. At some point in the mid 20th century the original boundary railings which formerly surrounded these three landscaped garden areas were removed and replaced principally by the existing chain link fencing.

4.2 Planning History

There is no planning history relevant to these applications.

5. THE PROPOSAL

Three separate applications for planning permission (one to each square) have been submitted proposing to remove the existing fencing, railings and gates around the central landscaped areas to Sussex Square, Gloucester Square and Hyde Park Square, and to replace them with new cast iron railings and gates. The existing hedge surrounding the garden square at Hyde Park Square is shown on the submitted drawings as being proposed for removal, with the drawings showing the existing hedges to Sussex Square and Gloucester Square principally intended for retention.

The application at Sussex Square has attracted 12 letters of objection from local residents, and also representations from Councillors Floru, Cox and Acton. The application at Gloucester Square has attracted two objections from local residents. The application at Hyde Park Square has attracted one objection.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The proposals raise no land use implications.

6.2 Townscape and Design

When Sussex Square, Hyde Park Square and Gloucester Square were originally laid out in the 19th century, the landscaped garden areas to the centre of each of them would have been surrounded by cast iron railings in similar design to those railings fronting the front lightwells of the 19th century terraced housing originally built around the edge of each square. These original railings to the landscaped garden areas were removed in the mid 20th century and replaced principally with chain link fencing and gates of poor design and appearance, though some limited amount of railings and metal gates of no particular design quality have also been installed to certain locations.

These applications seek the removal of the existing boundary treatment to each square and their replacement with new gates and railings on the existing boundary line formed in black painted cast iron, and to a design which will closely follow the design of the remaining original front lightwell railings to the Victorian terraced houses in the general vicinity. The plinth to the railings will be formed in reconstituted Portland stone, and a sample of this will be secured by condition to ensure its appropriate colour and finish. The railings are shown as being individually set into the plinths in traditional manner, and above the top rail are a regularly spaced pattern of decorative ball finials with the majority of finials between these having spearhead finials, which again follows the pattern of original 19th century railings found in the area. The railings from the plinth to the top of the finials are 1.5m in height, a height the applicant states derives from a desire by local residents and the garden committee that the railings be this height for security purposes.

Officers consider that the existing boundary treatments to each of the squares is of poor quality and that a reintroduction of traditionally designed railings on a reconstituted stone plinth, with traditionally detailed entrance gates, will represent a significant improvement in the appearance of the boundary treatment to the landscaped garden grounds and will restore an important element of the 19th century character of the squares which has been lost since the removal of the original railings in the mid 20th century. The 1.5m height of the railing is not markedly higher than original examples to surrounding 19th century terraced properties, and the plinth is as low as the landscaping levels immediately behind would allow. The appropriate detailing of plinth, railings and finials will be secured by conditions.

It is noted that a number of residents in Sussex Square and also in Gloucester Square have expressed concern about the introduction of traditionally designed railings of 19th century appearance on grounds that the majority of the buildings around these Squares are no longer the original 19th century terraced houses. Whilst noting this concern, the railings being proposed for installation are historically appropriate to the landscaped garden grounds, and are considered a significant improvement upon the existing poor quality fencing and gates. To Sussex Square, it is also noted that the buildings forming the terrace along the south side of Sussex Square are Grade II listed 19th century properties (though admittedly modernised to their Sussex Square elevation) and that the buildings on the east and west sides of the Square are 20th century in origin though nonetheless drawing some inspiration in their design from traditional buildings. To Gloucester Square the original 19th century buildings remain along the south side of the Square, and also to the east and west ends on the north side. To Hyde Park Square original buildings remain to north and south sides of the Square. In these circumstances, it is not considered that a reason for refusal could be sustained on this ground, and the traditional design proposed is considered appropriate.

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To accommodate circumstances where significant tree roots project across the line of the new plinth and railings, the applicant has shown a detail where the plinth is omitted to allow the tree roots to continue unbroken, with that section of railings above supported neatly by rising from a bottom bar. This is a standard approach to such situations for railings, and is considered neatly detailed.

The new railings and gates proposed to each square are therefore considered acceptable and the proposals are in line with Policies DES 1, 7, 9 and 10 in our UDP, and Policy S25 in our Westminster City Plan.

6.3 Residential Amenity

Concerns have been raised by a number of objectors to the proposals at Sussex Square about the loss of privacy which would be caused by removal of the existing hedging which surrounds the gardens to that Square. The applicant states that to Sussex Square, aside from a small area to the east side of the Square, all the existing vegetation and overhanging branches of shrubs is intended to be held back to provide working space for the installation of railings, and also retained in this manner to Gloucester Square. The hedge to Hyde Park Square, however, is proposed to be removed, with replacement planting to be secured by condition. Though noting that the removal of hedging would lessen the privacy currently enjoyed by users of the Square, the garden square is nonetheless an accessible recreation space and not private accommodation, and it is not considered that permission could reasonably be refused on grounds of the greater visibility of persons using the Square from the public realm surrounding.

Several objections have also been received on grounds of a perceived increase in noise and wind to users of the square if hedges are removed, and whilst it is noted that to Hyde Park Square a removal of the existing hedge could increase the impact of such issues, it is also noted that the square is a large and open recreation area and it is not considered that such issues raised by the objectors are sufficient to warrant the refusal of an application for planning permission.

6.4 Transportation /Parking/Access

To each Square there are residents parking bays adjacent to the central gardens along much of each of their perimeters. Through the course of the application process, officers had asked the applicant to consider options for setting the plinth and railings back marginally further to allow for a slightly wider area for doors on the garden side of cars to open. In the application submission, the drawings show a distance of 0.403m between the kerb edge and the railings to each square. Though a modest gap, it is recognised that this distance is approximately the distance between the kerb edge and the existing fencing, with the existing vegetation projecting through the fencing in many areas and extending out closer to the kerb edge. It is also recognised that the further back any plinth and railings are set the more problematic the issues become of the potential for impact on the trees within the gardens. In these circumstances, it is not considered that the new railings would have an unacceptable impact upon the usability of car parking provision within each of these squares.

6.5 Equalities and Diversities

No change.

6.6 Economic Considerations

Any economic benefits generated by the development are welcomed.

6.7 Other Westminster Policy Considerations

There are no other policy considerations.

6.8 London Plan

These applications raise no strategic issues.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. The City Council has recently published the NPPF Revisions to the Core Strategy which was submitted to the Secretary of State on 25 January 2013. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

Not relevant in the determination of these applications.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

Across the three squares there are a significant number of trees in close proximity to the line of the railings, and also a significant amount of lower level vegetation and hedging. All the existing trees are to be retained, and subject to conditions, the Arboricultural Manager is content with the proposals and thus the objection on grounds of the implications for trees is not considered sustainable.

A number of objections have been received with regards to the application for railings at Sussex Square expressing concern about the implications of the loss of the hedge/vegetation located around the square just to the inside of the existing fencing. The vegetation around the outsides of Sussex Square and Gloucester Square, however, is principally intended to be retained, and the applicant's arboricultural consultants advise that during works this vegetation would be held back where reasonably practicable to allow for working space for the installation of the railings and to maintain the natural shape of shrubs or bushes.

To Hyde Park Square, however, the entire Yew hedge around the boundary is proposed to be removed, as the existing and proposed fences are located in the centre of the hedge and it does not appear practically possible to undertake the proposed works without removing it. Although this is regrettable, it is considered justified to allow for the replacement of the railings. Furthermore, the Arboricultural Manager is content that it should be relatively

straightforward to replace the hedge following the works, and a condition is attached to secure a package of landscaping proposals to allow for suitable replacement planting once the works are complete. Subject to this, it is not considered that the concerns expressed are sustainable on this ground.

6.12 Other Matters

Concern has been raised about a perceived increased security risk to the squares given the height of the railings. The railings themselves are 1.5m high from the base of the shaft to the top of the finials, with the plinth being an additional 250mm high to Gloucester Square and Hyde Park Square, and a height closer to 450mm to Sussex Square to accommodate the higher height of garden grounds behind the boundary to that square. Though noting the concerns of residents on security grounds, this height is considered appropriate in terms of securing the boundary to the Squares.

Several objectors and also Councillor Floru have expressed concern about the cost of the railings to surrounding residents, and that the existing fencing is low maintenance, and that the maintenance of the railings will come at a cost to local residents. The cost of the new railings and maintenance costs, however, are private matters between the residents and the applicant, and it is not considered that permission could be withheld on grounds of concerns about the costs of the works.

One objector has made reference to the proximity of Hyde Park which already gives considerable open amenity space, and in this context expresses concern about an opening up of Sussex Square. Though noting the proximity of Hyde Park, the application must be considered on its merits, and in the case of Sussex Square the applicant intends to seek to retain the existing vegetation surrounding the square through the course of the works.

Concern has also been raised about a lack of consultation between the applicant and local residents regarding the works, however, this is considered a private matter and the City Council has carried out the normal consultation process on the planning applications to advise local residents of the application proposals.

Concern has also been expressed about a perceived generic nature between the three application submissions, however, given the similarities between the application proposals to the three squares then similarities between aspects of the proposals would be expected. The submissions are considered accurate in terms of their representation of the proposals to each square, and the concerns on this ground are not considered sustainable.

6.13 Conclusion

Overall therefore, the proposed works contained within each of the three applications are considered acceptable in design, trees and highways terms and all three applications are considered to accord with the relevant policies contained in the Westminster City Plan and the UDP.

BACKGROUND PAPERS

APPLICATION 1 - SUSSEX SQUARE (15/03105/FULL)

1. Application form
2. Emails from Councillor Floru dated 02.09.2015 and 03.09.2015.
3. Email from Councillor Cox dated 26.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.

4. Email from Councillor Acton dated 25.08.2015 including email from Chairman of Sussex Square (10-72) Residents Association dated 25.08.2015.
5. Letter from Historic England dated 29.04.2015.
6. Memorandum from Arboricultural Manager dated 18.09.2015.
7. Email from occupier of 'Flat 13, Sussex Square' dated 31.08.2015.
8. Letter from occupiers of 27 Sussex Square dated 14.05.2015.
9. Email from occupier of 26 Stanhope Terrace dated 24.05.2015.
10. Email from occupier of 33 Stanhope Terrace dated 28.05.2015.
11. Letter from occupier of 48 Sussex Square dated 12.06.2015.
12. Email from occupier of 24 Stanhope Terrace dated 17.05.2015.
13. Email from occupier of 23 Stanhope Terrace dated 16.05.2015.
14. Letter from occupier of 15 Sussex Square dated 07.05.2015.
15. Email from occupier of 78 Sussex Square dated 13.05.2015.
16. Email from occupier of 40 Sussex Square dated 05.05.2015.
17. Email from occupier of 14 Sussex Square dated 05.05.2015.
18. Letter from occupier of 17 Sussex Square dated 06.05.2015.

APPLICATION 2 - GLOUCESTER SQUARE (15/03109/FULL)

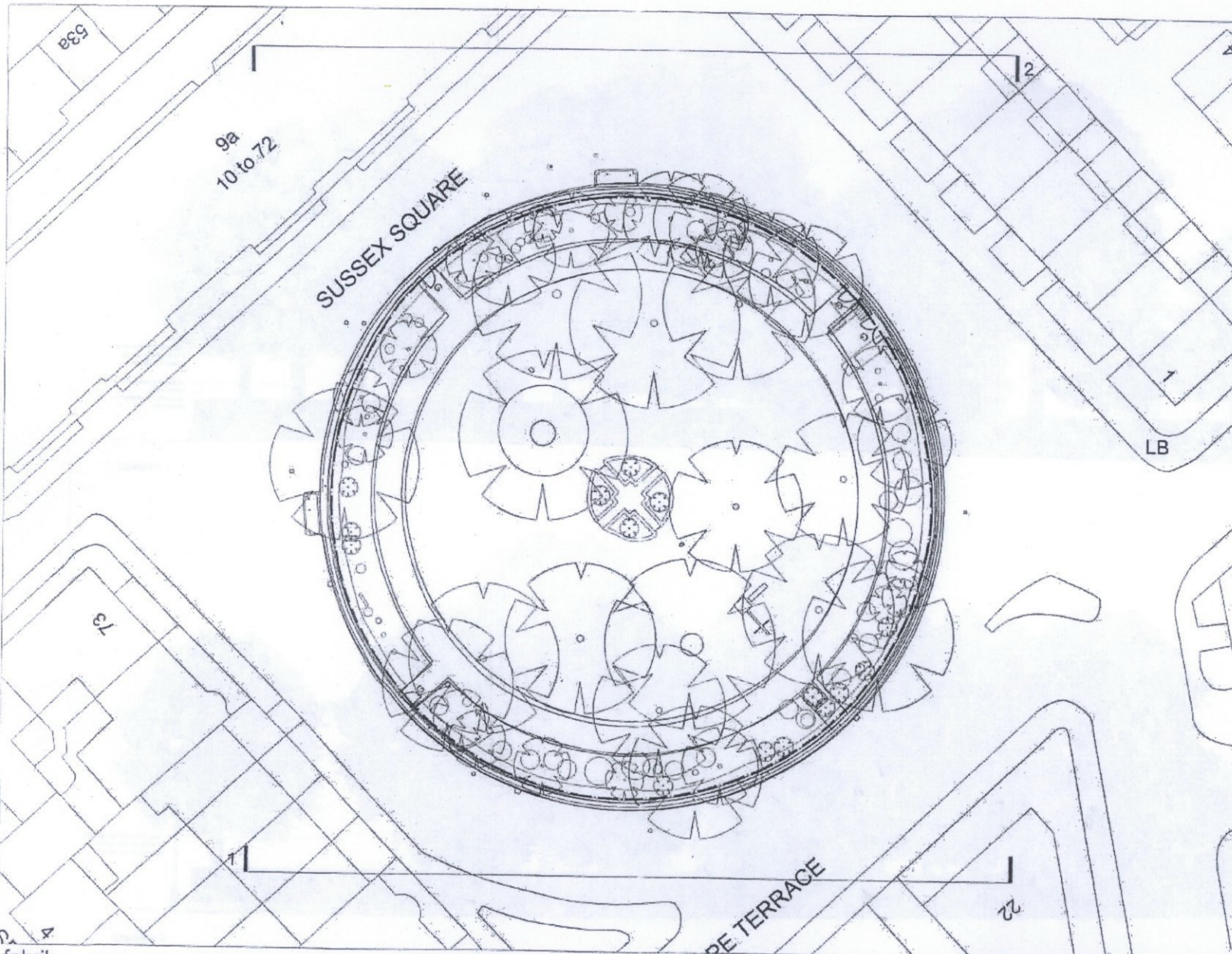
1. Application form.
2. Letter from Historic England dated 29.04.2015.
3. Memorandum from Arboricultural Manager dated 18.09.2015.
4. Letter from Chelwood House Freehold Company dated 10.05.2015.
5. Email from occupier of 44 Gloucester Square dated 19.06.2015.

APPLICATION 3 - HYDE PARK SQUARE (15/03110/FULL)





1. Application form.
2. Letter from Historic England dated 29 April 2015.
3. Memorandum from Arboricultural Manager dated 5 November 2015.
4. Email from occupier of north side of Square.

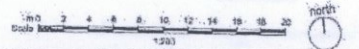
IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARAH WHITNALL ON 020 7641 2929 OR BY E-MAIL – swhitnall@westminster.gov.uk

APPLICATION 1



Notes:
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- Legend:**
-  Existing trees retained
 -  Existing hedge to be retained
 -  Proposed maximum height profile (redline before manufacturer's drawings for details)
 -  Proposed retention poles (after manufacturer's drawings for details)



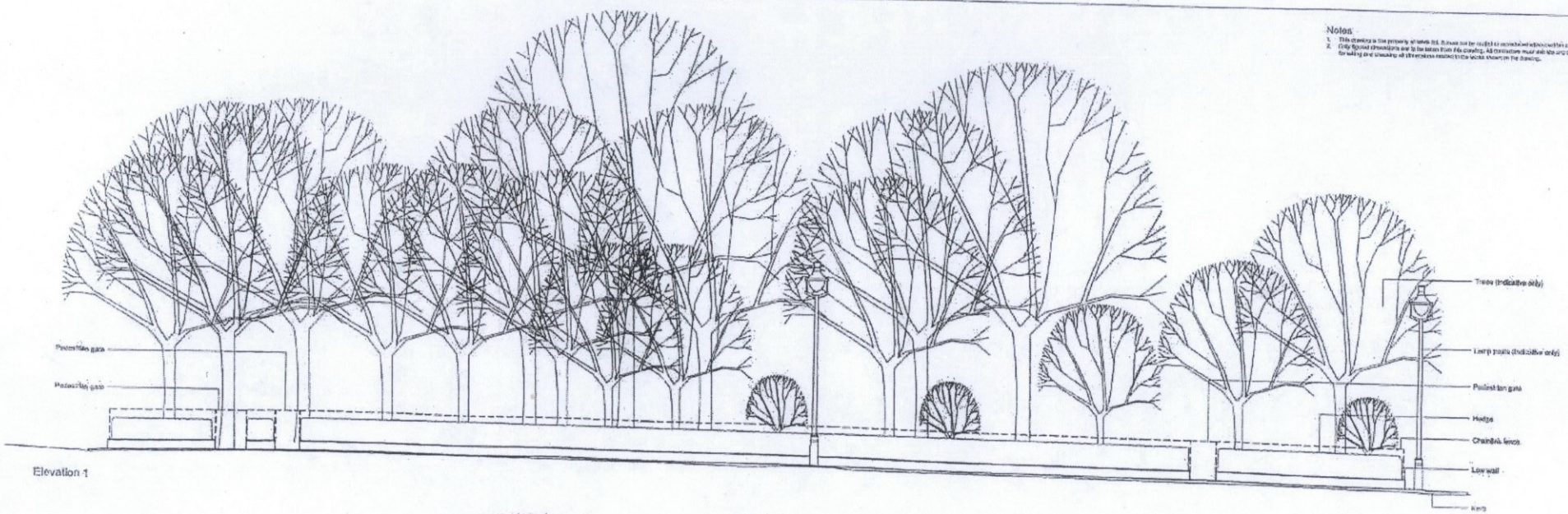
fabrik
 11, 10121 242 7472
 11, 10121 242 7472
 11, 10121 242 7472

B -11.02.15
A -11.02.15
 Date
 Revision
 Legend:
 Symbols of existing fence to be removed, layout amended.
 Reason
 External Reference:
 • T&H & GARDEN SQUARE - 01/04/15
 • Gloucester Square - City Works 01-12/15/15

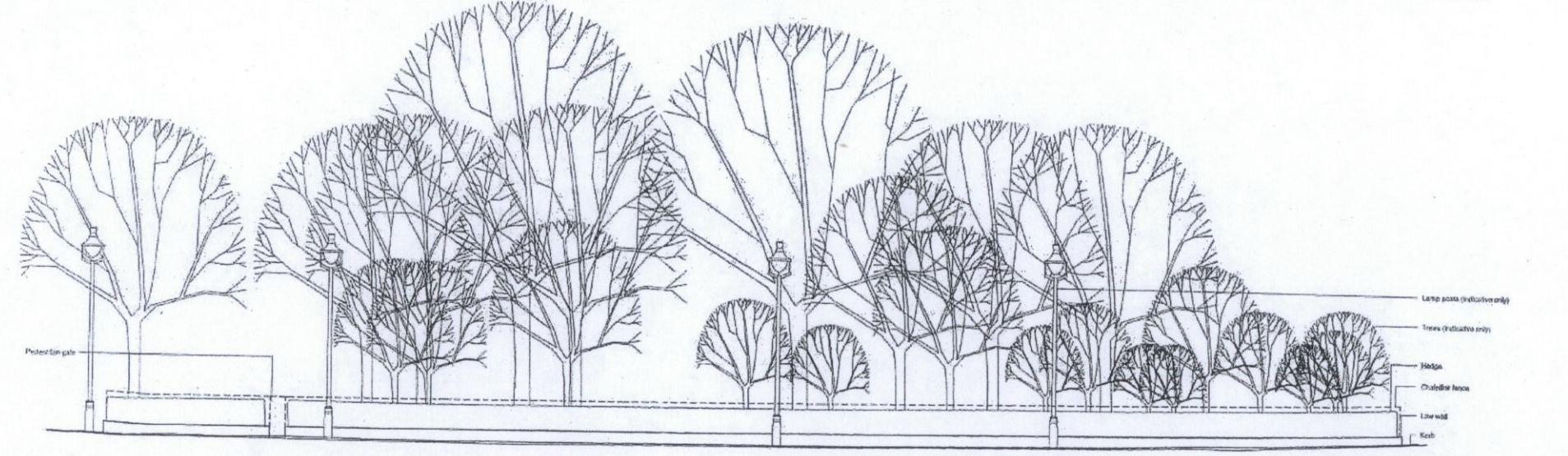
Project
**Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners**
 Drawn
Sussex Square: Railings Plan

Drawn
1:200 @ A1
 Date
Jan '15
 Revision
AW
 Drawing No.
D2282 L 103
 Revision
B
 Preliminary
 Issued for Planning Approval
 Issued for Construction
 Based for Details/Drawings
 Issued for Tender
 As Full
 Drawing sheet size - A1
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Notes
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 2. Only the ground elements are to be shown with this elevation. All structures must be shown as responsible for being and showing all structures shown in the drawing.



Elevation 1



Elevation 2

fabrik

7th Floor
 100, The Quadrant
 100, The Quadrant
 100, The Quadrant
 100, The Quadrant

Tel: 0201 822 7172
 Email: info@fabrik.com
 Web: www.fabrik.com

External References
 • SUSSEX SQUARE: LONDON: CITY OF LONDON
 • SUSSEX SQUARE: LONDON: CITY OF LONDON

Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners

Drawing
 Sussex Square: Existing Elevations

Scale: 1:100 @ A1

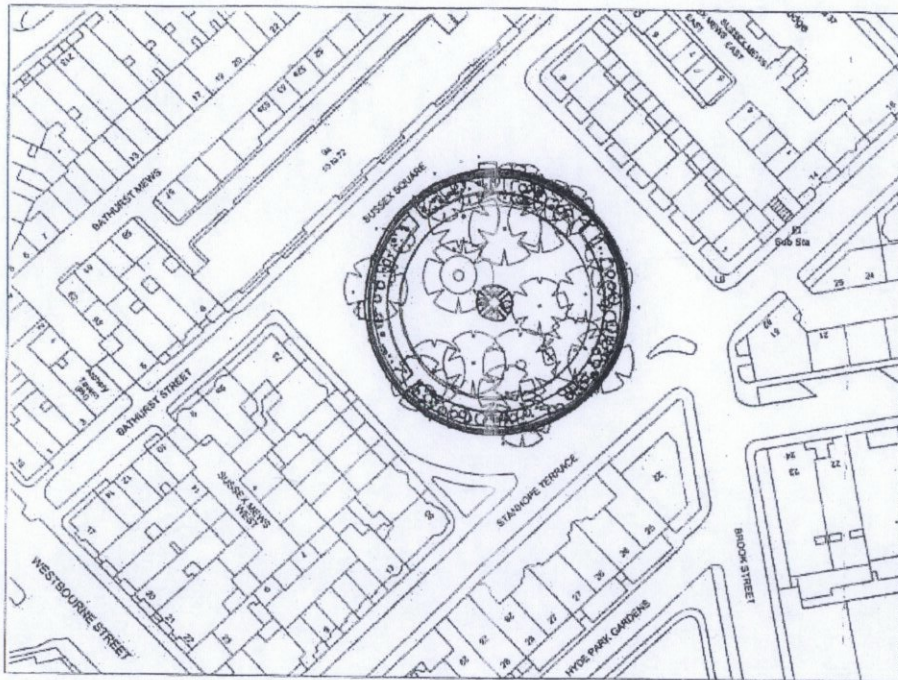
Date: Feb '15

Drawing No: D2292 L-431

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<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

Drawing sheet: 400-11

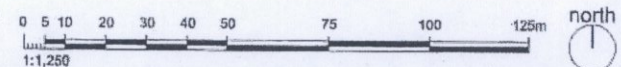
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Legend:



Application boundary



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Project

Sussex Square, Gloucester Square & Hyde Park Square, London
for The Church Commissioners
Drawing

Sussex Square: Location Plan

Scale
1:1250 @ A3
Date
Mar '15

Drawing No.
D2292 L.003

- | | |
|---|---|
| <input type="checkbox"/> Preliminary | <input type="checkbox"/> Issued for Design/Contractor |
| <input type="checkbox"/> Issued for Planning Approval | <input type="checkbox"/> Issued for Tender |
| <input type="checkbox"/> Issued for Construction | <input type="checkbox"/> As Built |

Drawing sheet size - A3

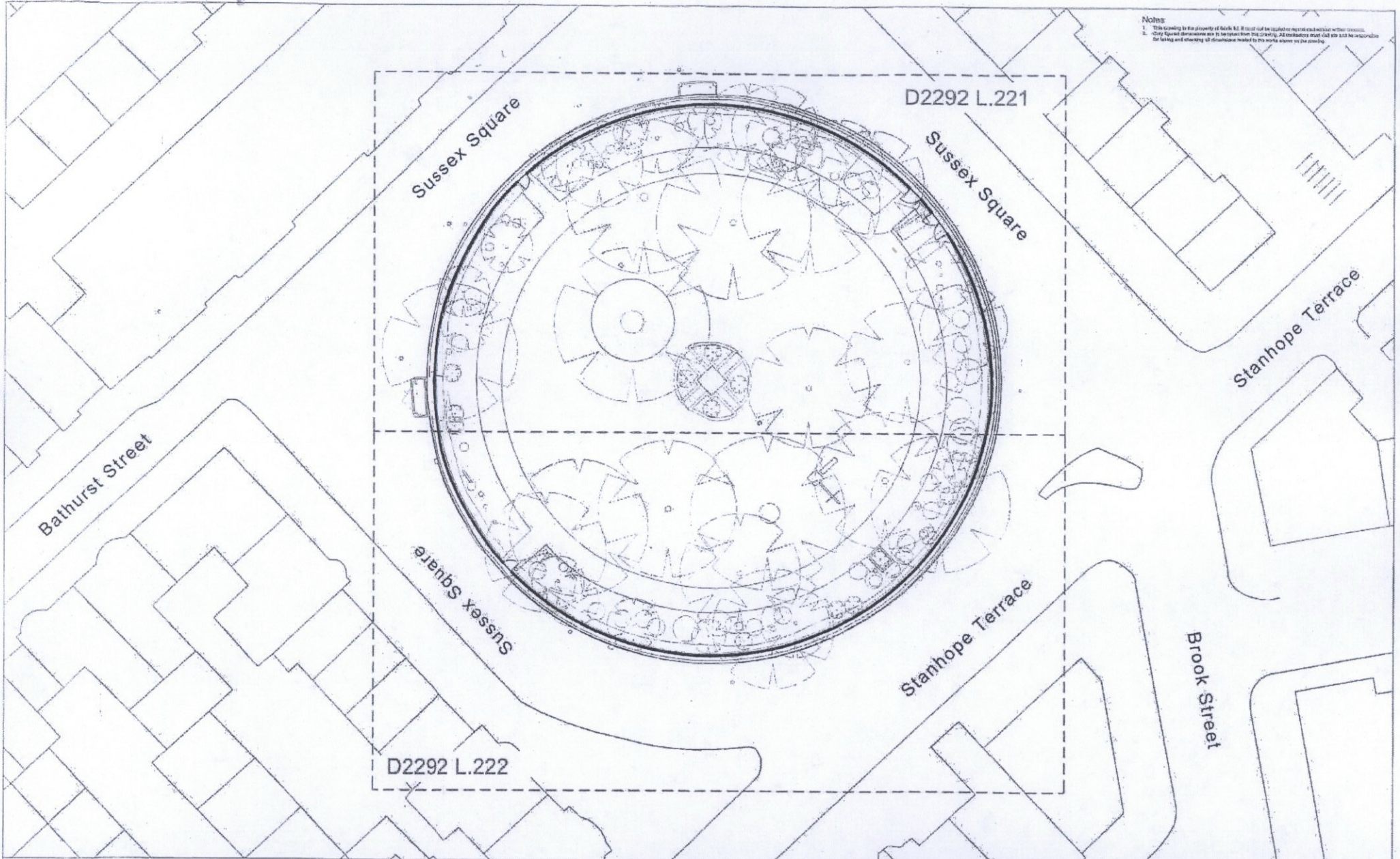
Copyright Reserved ©

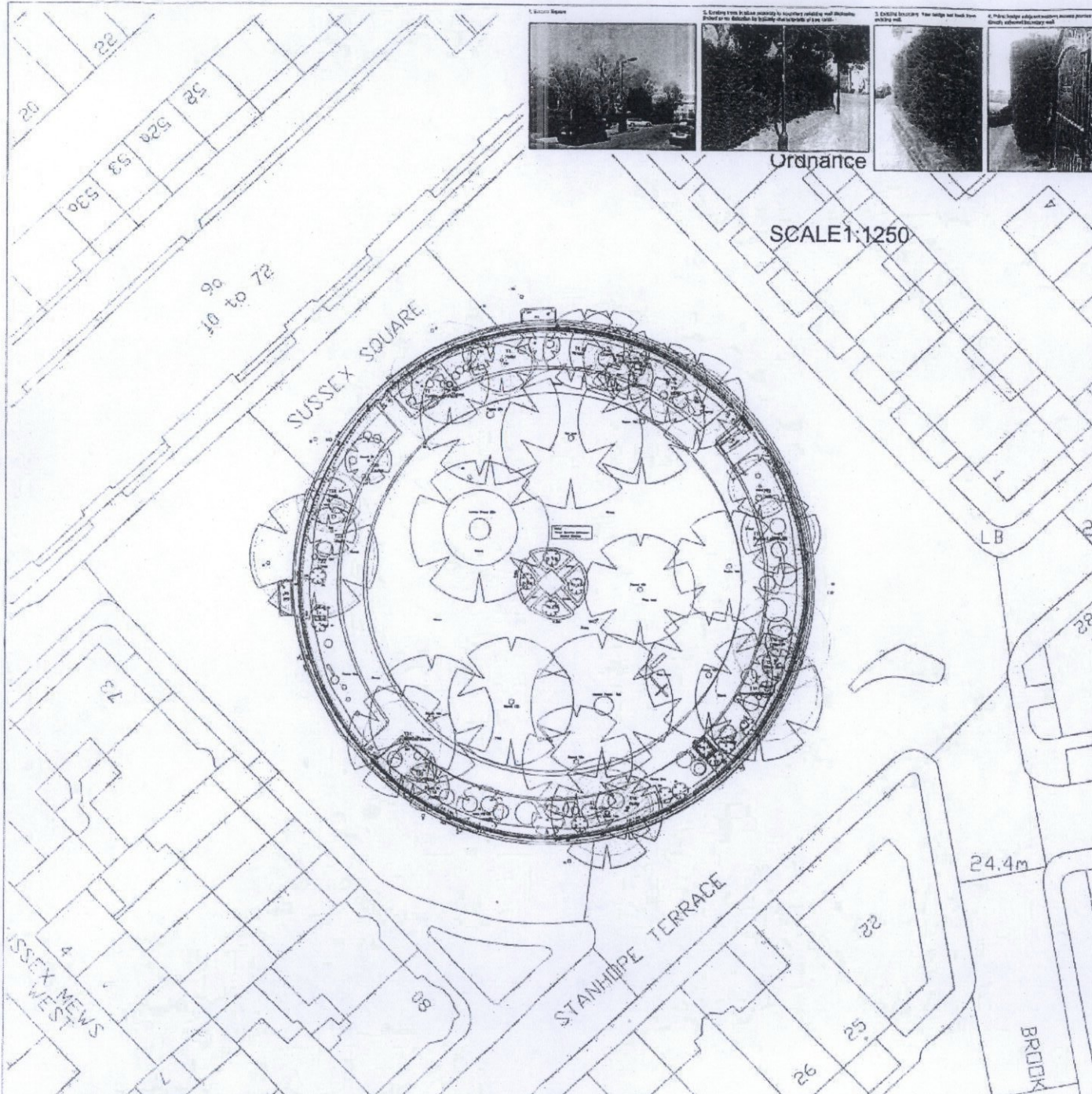
Client
AW
Revision

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Seventy Five
Lenny Street
Maida Vale
London
W9 1JH
Tel: 020 7462 1112
www.fabrik.com

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Ordnance

SCALE 1:1250

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General
 This Arboricultural Method Statement is intended to provide a clear and concise guide to the proposed works. It is intended to be read in conjunction with the drawings and specifications. It is the responsibility of the Contractor to ensure that the works are carried out in accordance with the drawings and specifications.
Legend
 The symbols shown on this drawing are as follows:
 - Proposed tree locations
 - Existing tree locations
 - Proposed tree sizes
 - Existing tree sizes
 - Proposed tree species
 - Existing tree species
 - Proposed tree planting dates
 - Existing tree planting dates

Table 1: Proposed tree sizes

Species	Size	Planting Date
Species A	Size 1	Date 1
Species B	Size 2	Date 2
Species C	Size 3	Date 3
Species D	Size 4	Date 4
Species E	Size 5	Date 5
Species F	Size 6	Date 6
Species G	Size 7	Date 7
Species H	Size 8	Date 8
Species I	Size 9	Date 9
Species J	Size 10	Date 10

Table 2: Proposed tree species

Species	Quantity	Planting Date
Species A	10	Date 1
Species B	5	Date 2
Species C	3	Date 3
Species D	2	Date 4
Species E	1	Date 5
Species F	1	Date 6
Species G	1	Date 7
Species H	1	Date 8
Species I	1	Date 9
Species J	1	Date 10

Table 3: Proposed tree work scope

Work Stage	Scope of Work
1. Site Preparation	Clearing of site, removal of existing trees, and preparation of planting holes.
2. Tree Planting	Planting of trees in accordance with the drawings and specifications.
3. Tree Care	Regular watering, mulching, and support of trees during the first year.
4. Site Restoration	Restoration of site to original condition, including reinstatement of paths and drainage.

Arboricultural Method Statement
 The purpose of this statement is to provide a clear and concise guide to the proposed works. It is intended to be read in conjunction with the drawings and specifications. It is the responsibility of the Contractor to ensure that the works are carried out in accordance with the drawings and specifications.
 The works are to be carried out in accordance with the Arboricultural Method Statement and the drawings and specifications. It is the responsibility of the Contractor to ensure that the works are carried out in accordance with the drawings and specifications.
 The works are to be carried out in accordance with the Arboricultural Method Statement and the drawings and specifications. It is the responsibility of the Contractor to ensure that the works are carried out in accordance with the drawings and specifications.
 The works are to be carried out in accordance with the Arboricultural Method Statement and the drawings and specifications. It is the responsibility of the Contractor to ensure that the works are carried out in accordance with the drawings and specifications.

Table 4: Proposed tree work schedule

Work Stage	Start Date	End Date
1. Site Preparation	Date 1	Date 2
2. Tree Planting	Date 3	Date 4
3. Tree Care	Date 5	Date 6
4. Site Restoration	Date 7	Date 8

Storage of materials - All materials to be stored in a secure and dry location. All materials to be stored in a secure and dry location. All materials to be stored in a secure and dry location. All materials to be stored in a secure and dry location.

Working hours - All work shall be carried out between 08:00 and 18:00 hours, Monday to Friday. All work shall be carried out between 08:00 and 18:00 hours, Monday to Friday. All work shall be carried out between 08:00 and 18:00 hours, Monday to Friday. All work shall be carried out between 08:00 and 18:00 hours, Monday to Friday.

tree:fabrik
 London House
 16 Leakey Street
 Aldon, Hampshire
 GU34 1JG
 T: 01483 833950
 F: 01483 844243
 E: info@treefabrik.com

SUSSEX, GLOUCESTER & HYDE PARK SQUARES LONDON

Drawing: ARBORICULTURAL METHOD STATEMENT SUSSEX SQUARE

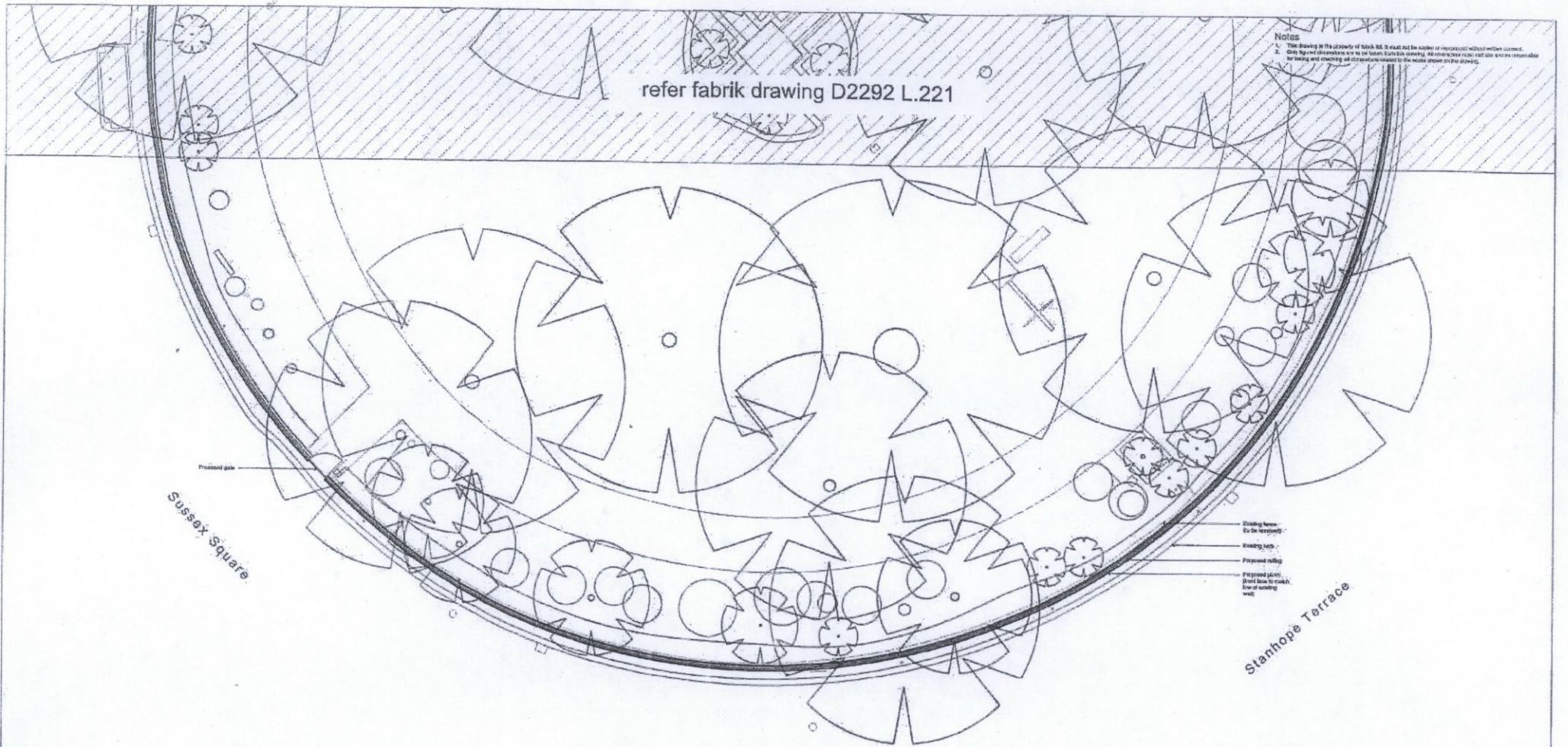
Scale: 1:250 Date: MARCH 16 AR

Drawing No: 100B/MS/300 Revision: B

Legend

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<input checked="" type="checkbox"/> Insured for Planning Approval	<input type="checkbox"/> Insured by Trades
<input checked="" type="checkbox"/> Insured for Construction	<input type="checkbox"/> No Bill

SCALE 1:250



refer fabrik drawing D2292 L.221

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Sussex Square

Stanhope Terrace

- Existing level to be removed
- Existing level
- Proposed railing
- Proposed glass front door to each. End of existing wall

fabrik

17th Floor
 Langley House
 17 Upper Street
 London EC2A 4DF
 T: +44 (0)20 7332 2322
 F: +44 (0)20 7332 2323
 W: www.fabrik.as.com

Legend:		
	Existing trees retention	
	Existing wall	
	Existing facade	
	Existing ramp to be removed	
	Existing ramp	
	Existing level	
	Existing level to be removed	



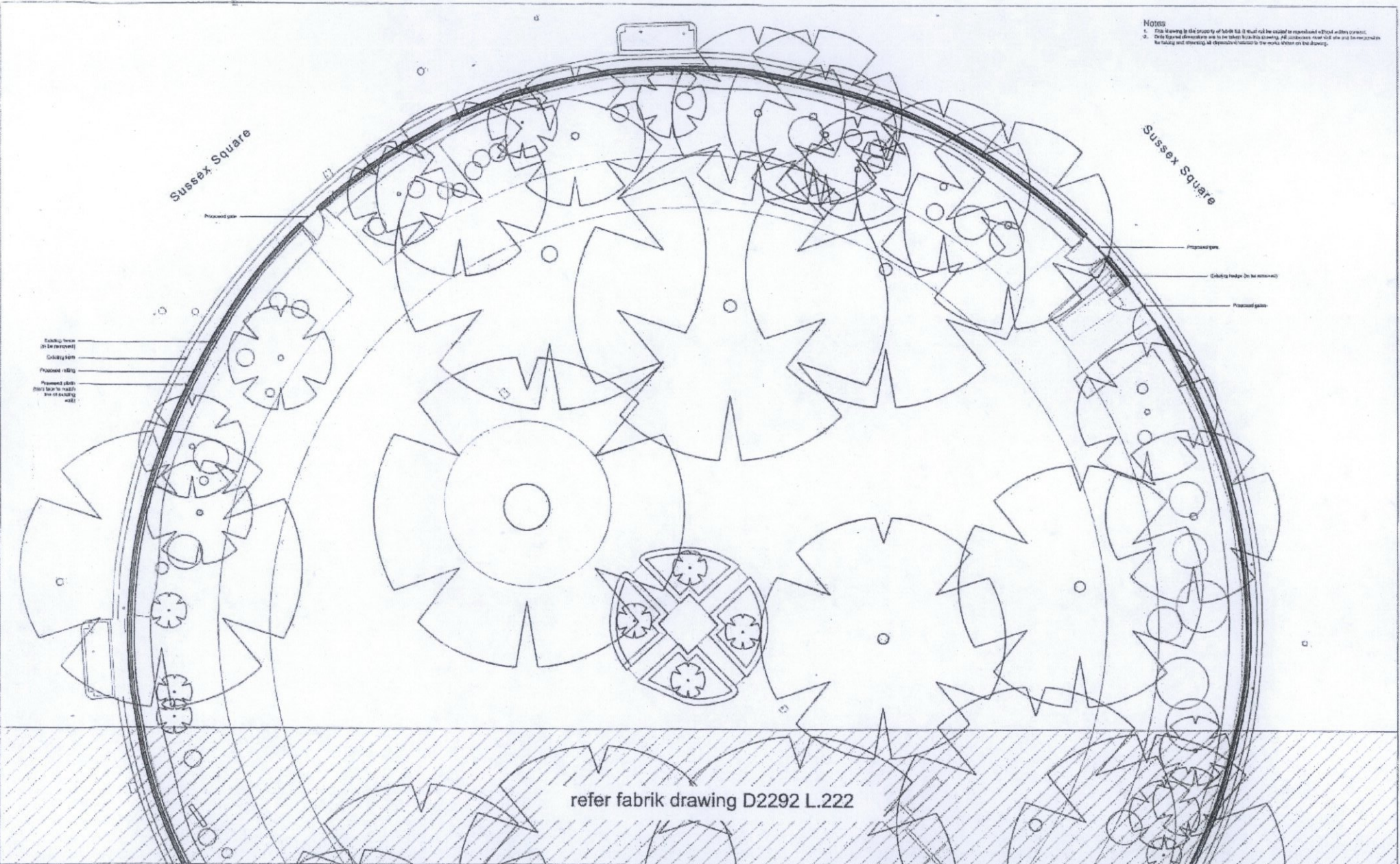
B - 22.08.15 - Street names added. Street layout revised.
 A - 27.08.15 - Amendments to street names and level markers.
 H.A. - 03/09
 Markings
 External dimensions
 + 18114 SUSSEX SQUARE - City of SW
 + Sussex Square - CAD Block 02-12201010

Project
 Sussex Square, Gloucester Square & Hyde Park Square
 London
 for The Church Commissioners
 Drawing
 Sussex Square: General Arrangement Plan
 (sheet 2 of 2)

Scale	Date	Client
1:100 @ A1	Aug '15	AW
Drawing No.	Revision	
D2292 L.222	B	
<input type="checkbox"/> Prepared <input checked="" type="checkbox"/> Issued for Planning Approval <input type="checkbox"/> Saved for Construction <input type="checkbox"/> Issued for Construction <input type="checkbox"/> Approved for Construction <input type="checkbox"/> Approved for Tender <input type="checkbox"/> Approved for Construction <input type="checkbox"/> Approved for Construction		
Drawing sheet size - A1	Copyright Reserved ©	

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Existing fence
(to be removed)
Existing gate
Proposed railing
Proposed steps
Plant to be installed
and to existing wall

Proposed gate
Existing fence (to be removed)
Proposed gate

refer fabrik drawing D2292 L.222

fabrik

191, Finsbury
Square, London EC2A 3DF
Tel: 020 7553 1234
www.fabrik.com

Legend	
	Existing fence (to be removed)
	Existing gate
	Existing railing
	Existing steps
	Proposed 100mm edge area with 100mm concrete edge (to be removed)
	Proposed 100mm edge area with 100mm concrete edge (to be removed)
	Proposed protection gate (to be removed)



0 1 2 3 4 5 6 7 8 9 10
Scale: 1:100

North

08/06/15
07/06/15
No. Date Reason
08/06/15
07/06/15

General References:
- 1814 SUSSEX SQUARE - Copy Draw
- Sussex Square - 1/100 - 1814 - 1500.dwg

Project: Sussex Square, Gloucester Square & Hyde Park Square, London
for The Church Commissioners

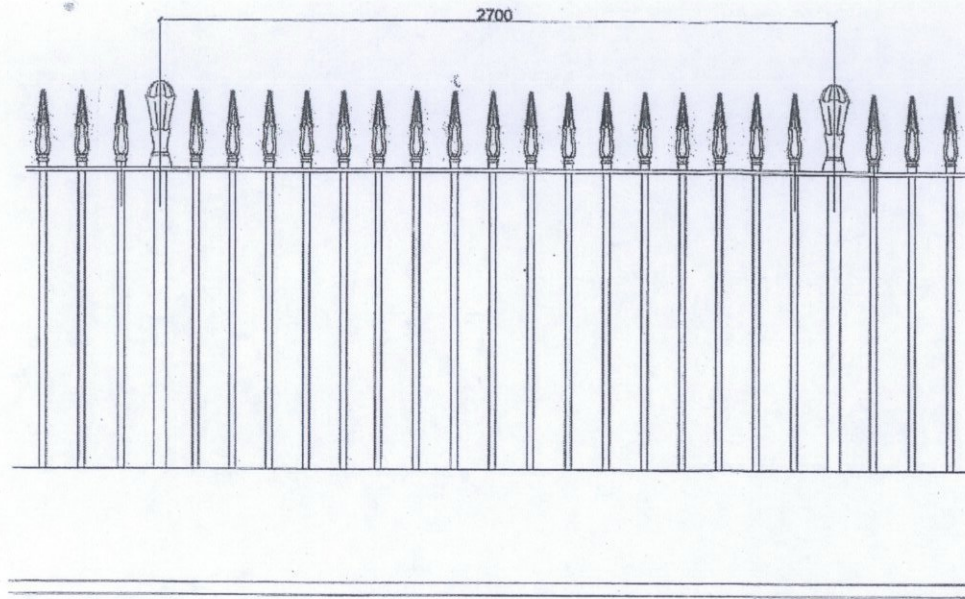
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Date: Aug '15
Drawn: AW
Revision: B

Drawing No: D2292 L.221

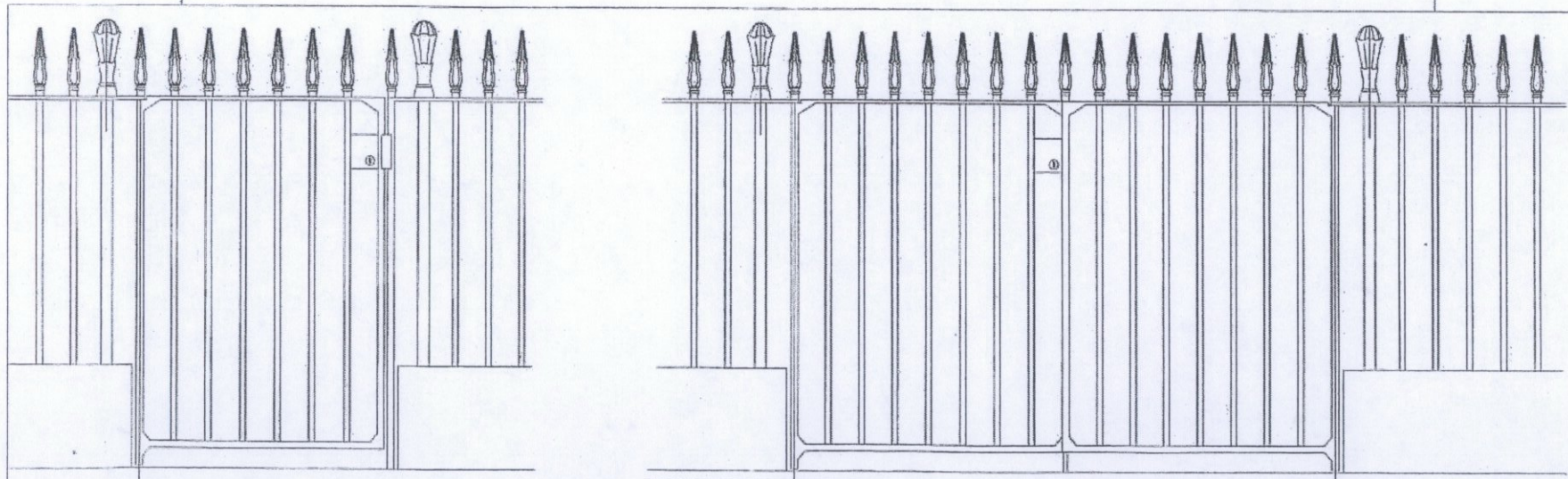
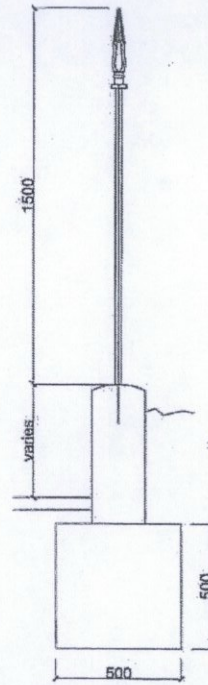
Drawn by:
 Pathway
 Issues for Planning Approval
 Issues for Construction
 Issues for Construction
 As Built

Checked by:
 Issues for Construction
 Issues for Construction
 As Built

Drawing sheet size - A1
Copyright Reserved



Typical elevation.



Elevation on gates.

General Notes

- This drawing must not be scaled.
- Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 65 x 15 flat top rail
 Forged styling heads to match existing.
 Bars loaded in to stone coping.

Index	Date	Description
REVISIONS		
C	08-05-16	Single gate added
B	07-04-15	Height revised
A	23-03-16	Wind changed to stone

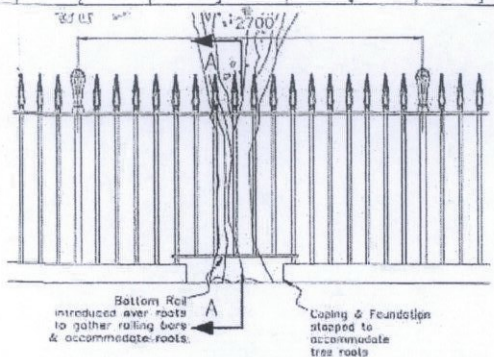
METALCRAFT
TOTTENHAM LIMITED
1000A PEARSON ROAD, TOTTENHAM, NORTH YORKSHIRE, YO11 1JG

CLIENT
 The Church Commissioners

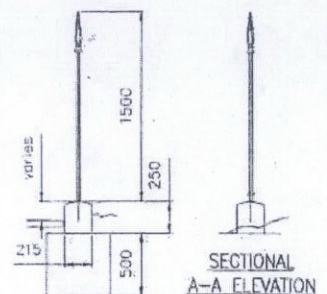
PROJECT
 SUSSEX Sq.

DRAWING TITLE
 Typical railings and gates

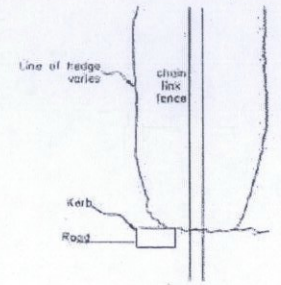
DRAWN BY	CHECKED BY	DATE	SCALE
PW		16/02/15	1:1
PROJECT No.	DRAWING No.		
		[G] - Prelim-02	



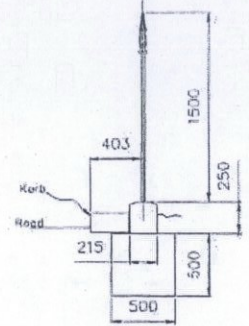
FRONT ELEVATION
Typical Railings at Small Trees
1:20



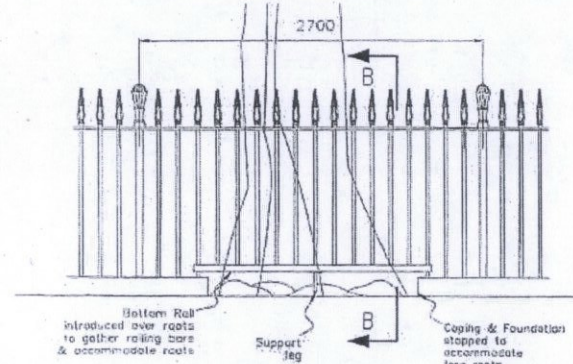
SECTIONAL A-A ELEVATION
1:20



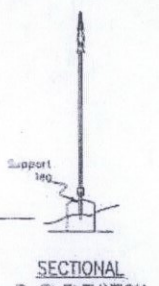
SECTION THRU
Old Fencing
1:20



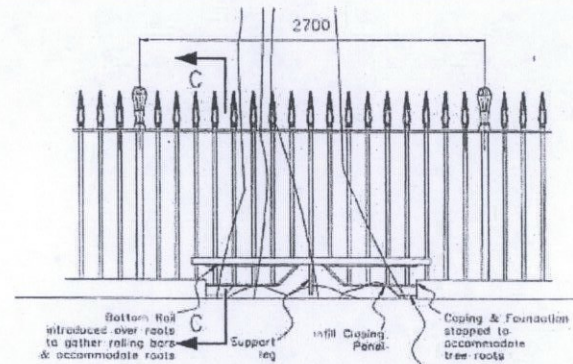
SECTION THRU
New Railings
1:20



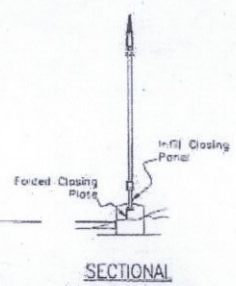
FRONT ELEVATION
Typical Railings at Large Trees
1:20



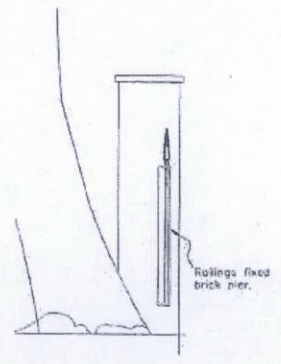
SECTIONAL B-B ELEVATION
1:20



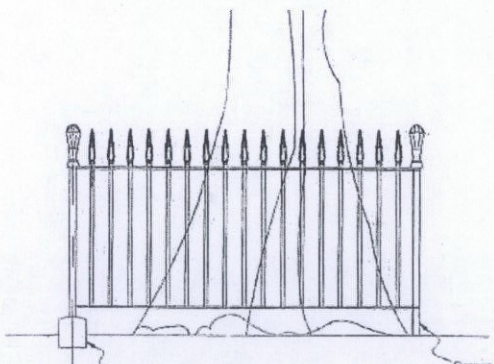
FRONT ELEVATION
Typical Railings at Large Trees
with Infill Railings Under Rail
1:20



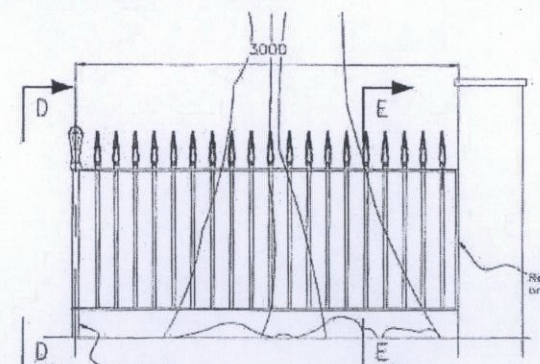
SECTIONAL C-C ELEVATION
1:20



SECTIONAL E-E ELEVATION
1:20



SECTIONAL D-D ELEVATION
1:20



FRONT ELEVATION
Corner Railing at Large Tree (Gloucester Square)
1:20

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General Notes
Component Characteristics
Tolerances of dimension and shape
EN 1090-2 Tolerance class 1
Weldability
EN 10025-2, S275 / S355
Fracture toughness / Impact resistance
S275JR (27J@20°C)
S355 (35J@20°C)
Stainless 304 / 316
Load Bearing Capacity
Designed to BS5850 / EN 1093
Steel Specification
National Structural Steelwork
Specification for Building Construction
5th Edition CE Marking
Welds
All welds to comply to MTL Welding
Procedure Specifications (WPS)
Steel Grades
All UC / UB / PFC / RSA - S355JR
All SHS / RHS / CHS - S355J2
All Plates - S275 UNO



No.	Date	By / Date

Welded Structural Components
Execution Class 2 BS EN 1090

Hyde Park Sq, Sussex Sq & Gloucester Sq.

On behalf of
THE CHURCH COMMISSIONERS FOR ENGLAND

Project No:	5386
Contract No:	23.08.19
Rev. No:	001 D10
Rev. No:	010
Checked By: DSG	Rev. No. 001
Date: 10/11/2010	M.S. No. 1
Drawing Title:	

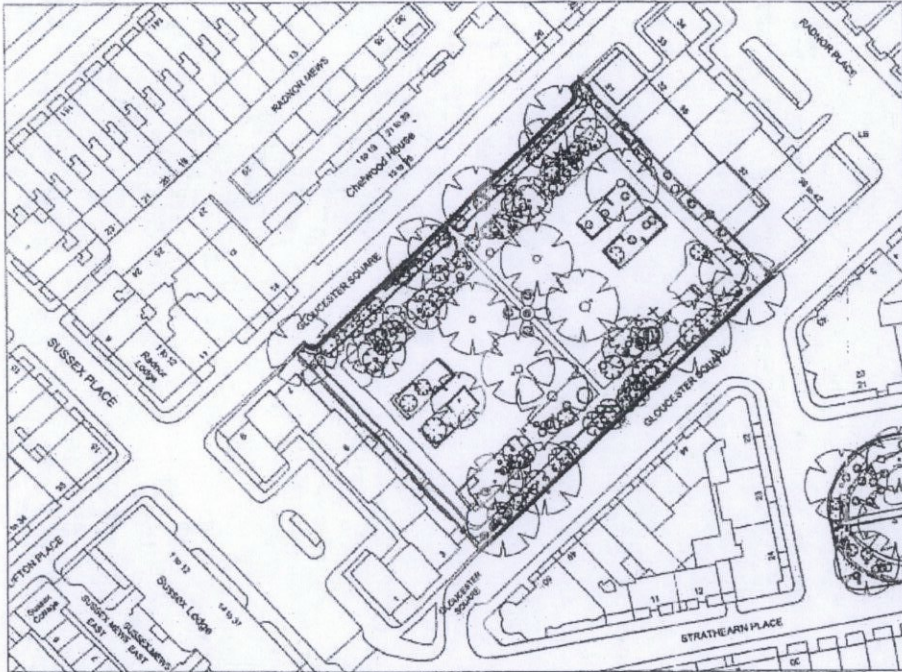
RAILINGS
AT TREE LOCATIONS
GA

Project Name:

METALCRAFT
Tottenham Limited
6-42 Church Road
Seven Sisters Road
London N15 5NG
Tel: 020 8023 1170
Fax: 020 8023 1155
E-mail: enquiries@metalcraft.co.uk

Preliminary Proposals

APPLICATION 2

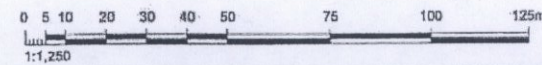


Legend:



Application boundary

CASE COPY
 To: _____
 From: _____
 ADDRESS: _____



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Project
 Sussex Square, Gloucester Square & Hyde Park Square, London
 for The Church Commissioners.

Gloucester Square: Location Plan

Scale Date
 1:1250 @ A3 Mar '15

Drawn
 AW

fabrik

Drawing No.
 D2292 L.001

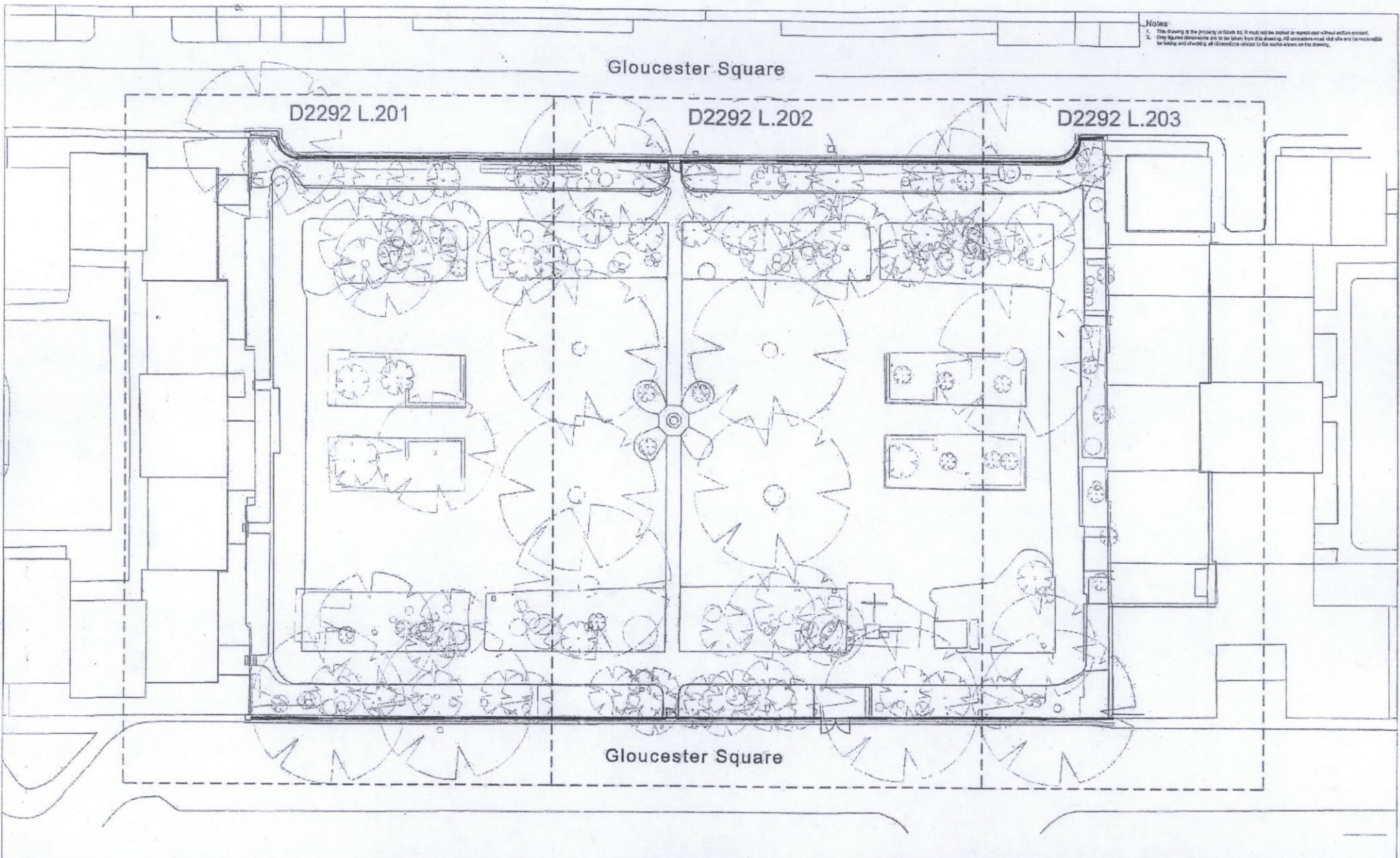
- | | |
|--|---|
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| <input checked="" type="checkbox"/> Issued for Planning Approval | <input type="checkbox"/> Issued for Tender |
| <input type="checkbox"/> Issued for Construction | <input type="checkbox"/> As Built |

General Floor
 Level 000
 Vertical Datum
 Mean Sea Level
 00 2000
 1. 0161 242 1172
 2. www.fabrikplc.com
 3. www.fabrik.com

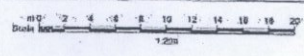
Drawing sheet size: A3

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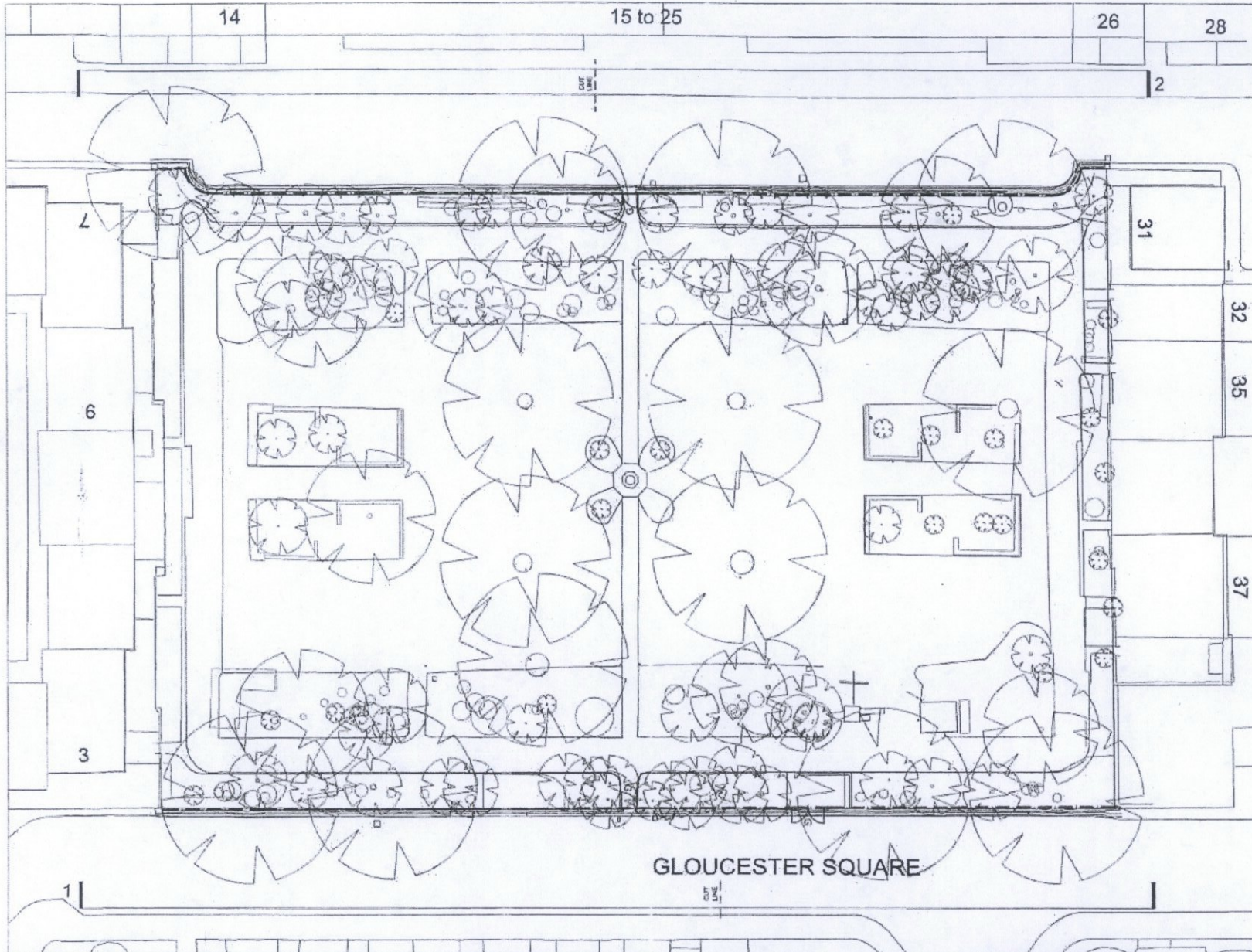
fabrik
 2nd Floor
 Lepp Lane
 Bowle Street
 Manchester
 M2 3WA
 T: 0161 241 7122
 E: info@fabrik.co.uk
 W: www.fabrik.co.uk



No. Date Revision
 External References:
 • 101116-GLoucester Square - Croyland
 • Gloucester Square - CAD Block 01 - 15.02.15





Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners
 Drawing No.
 Gloucester Square: Drawing Location Plan

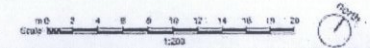
Scale 1:200 @ A1
 Date Aug '15
 Drawn AW
 Drawing No. D2292 L.200
 Drawn by
 Preliminary
 Based on Planning Approval
 Based on Construction
 Based on Stage/Verification
 Based on Tender
 As Built
 Drawing Sheet Size (A1)
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Notes
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 2. Only those dimensions are to be used from this drawing. All contractors must refer to the architect's drawings for details and check all dimensions related to the scope of work on site.

Legend:

-  Existing trees retained
-  Existing hedge to be removed
-  Proposed 1500mm height metal railings (refer manufacturer's drawings for details)
-  Proposed perforation gates (refer manufacturer's drawings for details)



fabrik

7th Floor
 Tower House
 15 Abchurch Lane
 London EC4N 3DF
 Tel: 020 7417 1172
 Email: info@fabrik.com
 Website: www.fabrik.com

15.02.15 Large drawing
 # 20.02.15 Large drawing
 No. Date Issue
 Revision
 Related References
 * 150142/01/25/150142-01 - Copy DWP
 * Gloucester Square - L&P Drawn 15.02.15

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawings: Gloucester Square: Railings Plan

Scale: 1:200 @ A1

Date: Jan '15

Drawn by: D2292 L.101

Checked by: [Blank]

Approved by: [Blank]

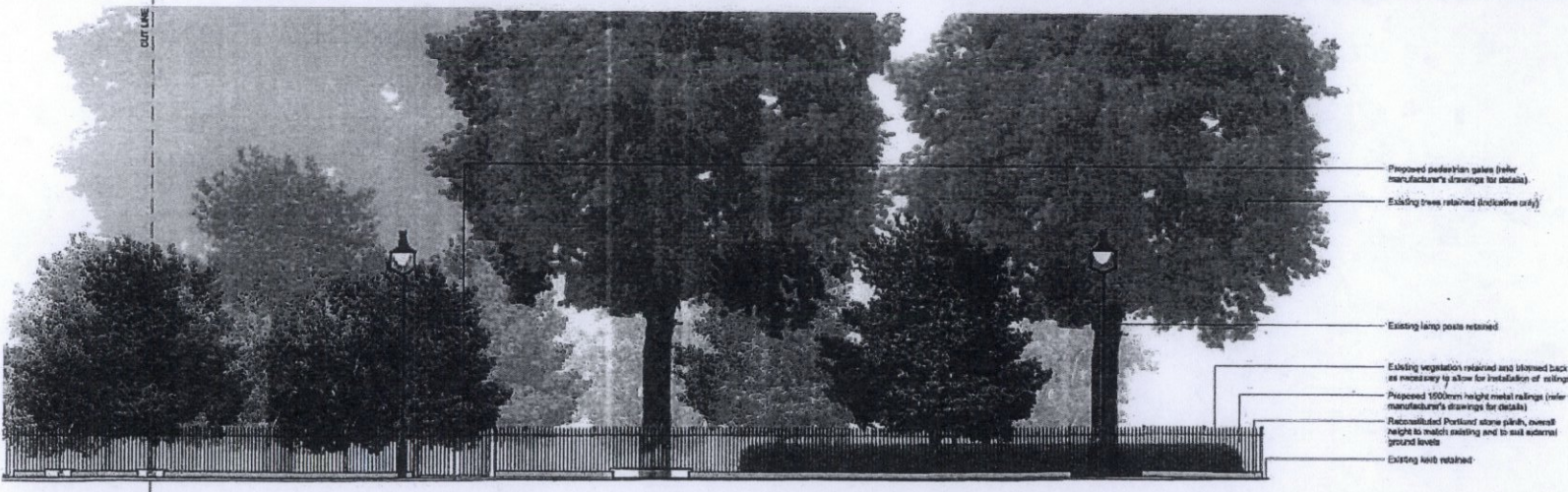
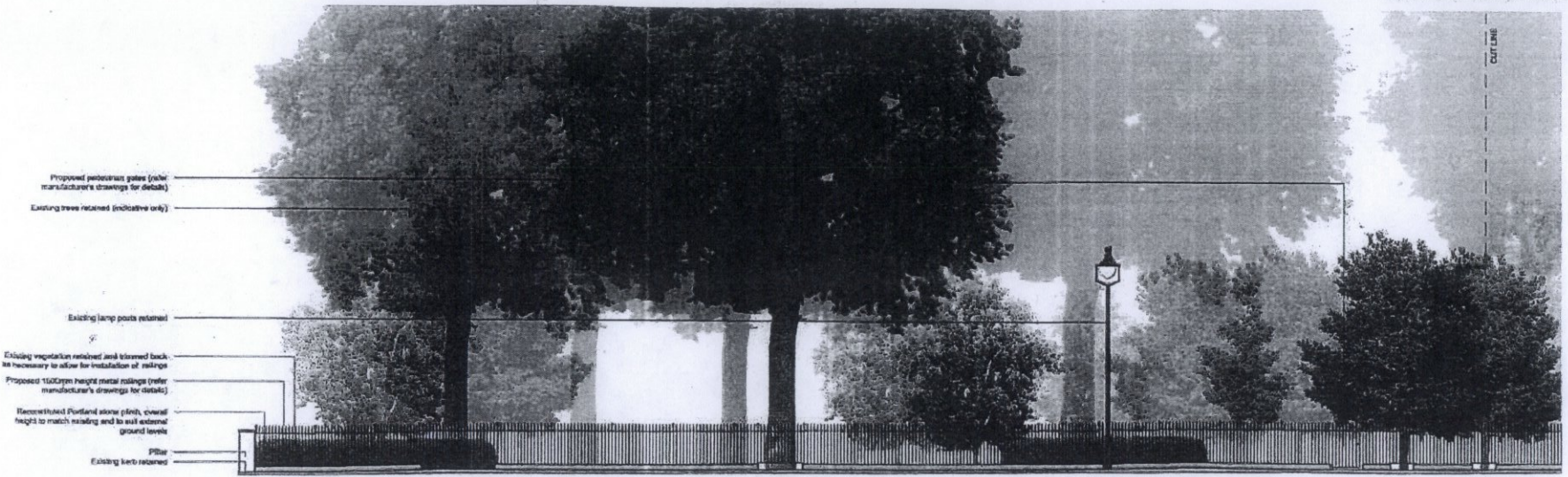
Project No.: [Blank]

Revision: B

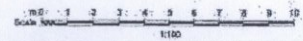
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<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

Drawing sheet size: A1 Copyright Reserved

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Elevation 1



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 W: www.fabrik.com

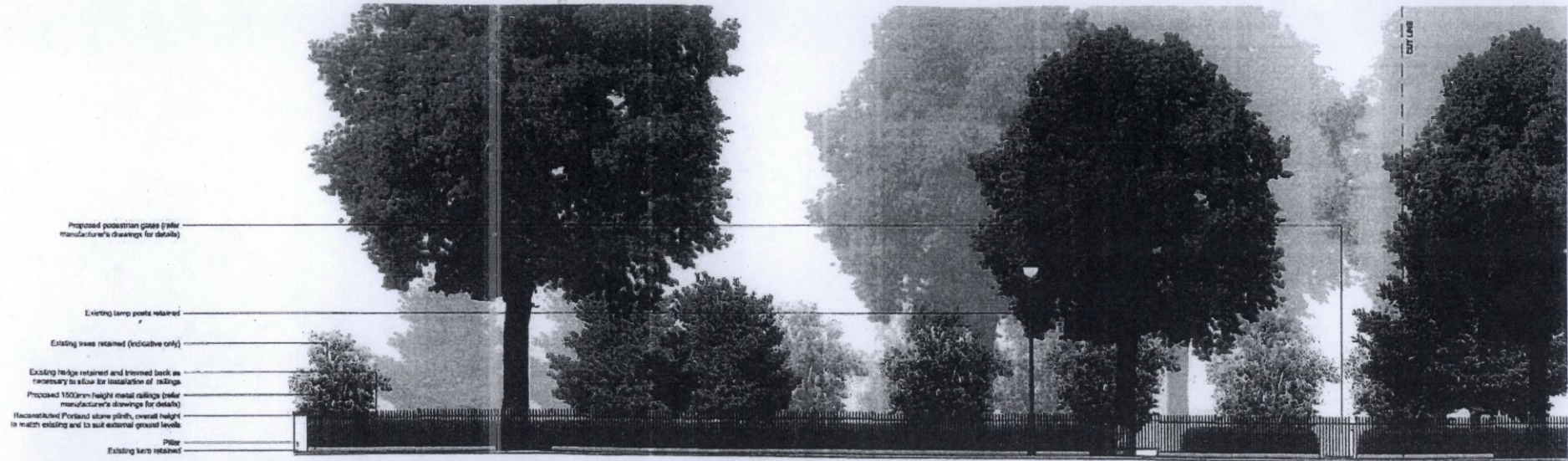
E	27.08.15	Raising elevations revised in accordance with manufacturer's proposals.	AWP
D	03.02.15	Railings height revised.	AWP
C	23.02.15	Architectural information.	AWP
B	10.02.15	Accessories provided.	AWP
A	14.02.15	Structure approved by relevant building control.	AWP
M		Passes	AWP
Rev		Revisions	AWP

Estimated Reference:
 - 13716-GLoucester Square - Copy DWG
 - Gloucester Square - CAD Block 02 - 120.dwg

Project	Scale	Date	Drawn
Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners	1:100 @ A1	Jan '15	AW
Drawing	Drawing No.		Revised
Gloucester Square: Site Sections & Elevations Sheet 1	D2292 L410		E
<input type="checkbox"/> Pathway <input type="checkbox"/> Based on Planning Approval <input type="checkbox"/> Based for Construction		<input type="checkbox"/> Based for Design/Information <input type="checkbox"/> Based for Tender <input type="checkbox"/> As Built	
Drawing sheet size: A1		Copyright Reserved ©	

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Proposed post-tension gates (refer manufacturer's drawings for details)

Existing lamp posts retained

Existing trees retained (indicative only)

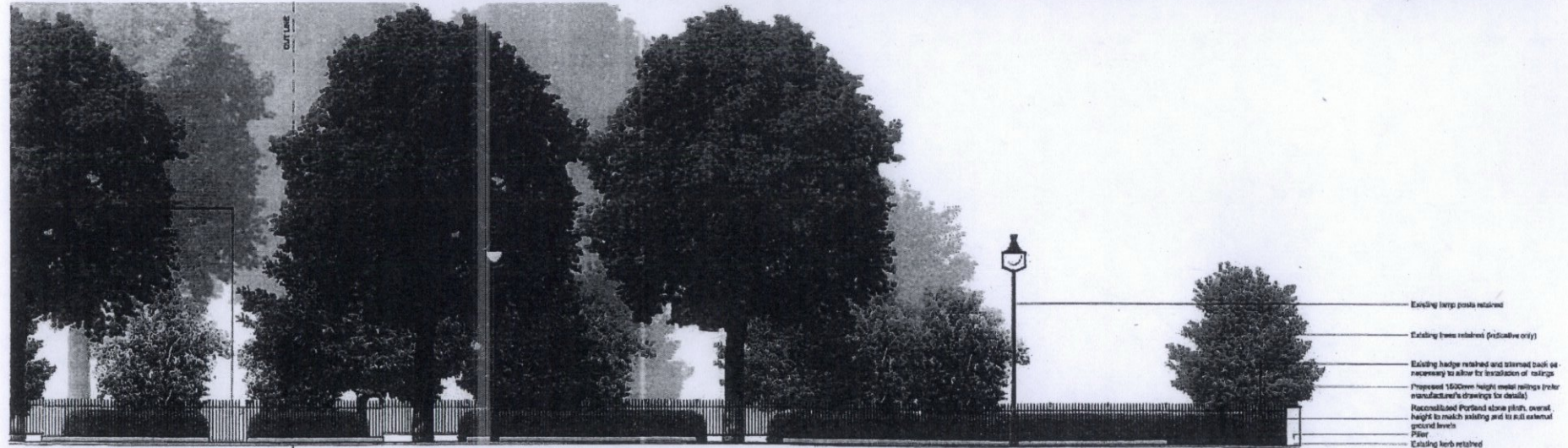
Existing hedge retained and trimmed back as necessary to allow for installation of railings

Proposed 1500mm height metal railings (refer manufacturer's drawings for details)

Reconstituted Portland stone pillars, overall height to match existing and to suit external ground levels

Pillar

Existing lawn retained



Existing lamp posts retained

Existing trees retained (indicative only)

Existing hedge retained and trimmed back as necessary to allow for installation of railings

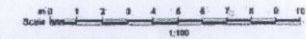
Proposed 1500mm height metal railings (refer manufacturer's drawings for details)

Reconstituted Portland stone pillars, overall height to match existing and to suit external ground levels

Pillar

Existing lawn retained

Elevation 2



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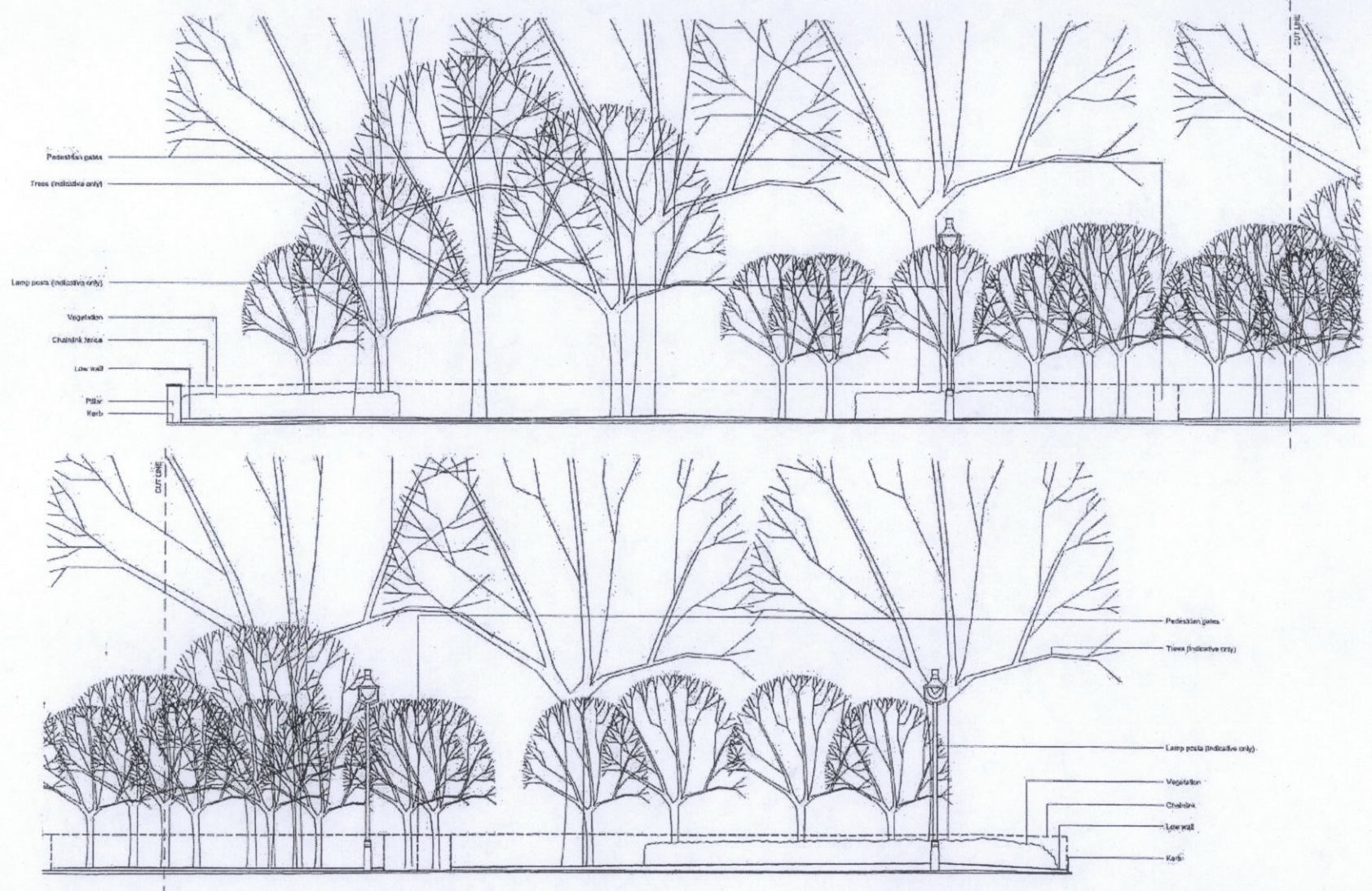
E 27.06.15 Railings dimensions revised to accord closely with manufacturer's proposals. AW
 D 20.01.15 Railings hedge revised AW
 C 23.04.15 Approximate agreement AW
 B 18.02.15 Approximate agreement AW
 A 15.02.15 Elevation amended to reflect forward railing layout. AW
 No. Date Status Name

External Referenced:
 - 16914-GLoucester Square - City CWS
 - Gloucester Square - 1540 - Issue 02 - 12/04/14

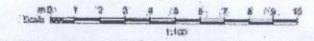
Project:
**Sussex Square, Gloucester Square & Hyde Park Square,
 London**
 for The Church Commissioners
 Drawing:
**Gloucester Square: Site Sections & Elevations
 Sheet 2.**

Scale: 1:100 @ A1
 Date: Jan '15
 Drawing No.: D2292 L.411
 Revision: E
 Preliminary
 Issued for Design/Performance
 Issued for Planning Approval
 Issued for Tender
 Issued for Construction
 As Built
 Drawing sheet size: A1
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Elevation 1



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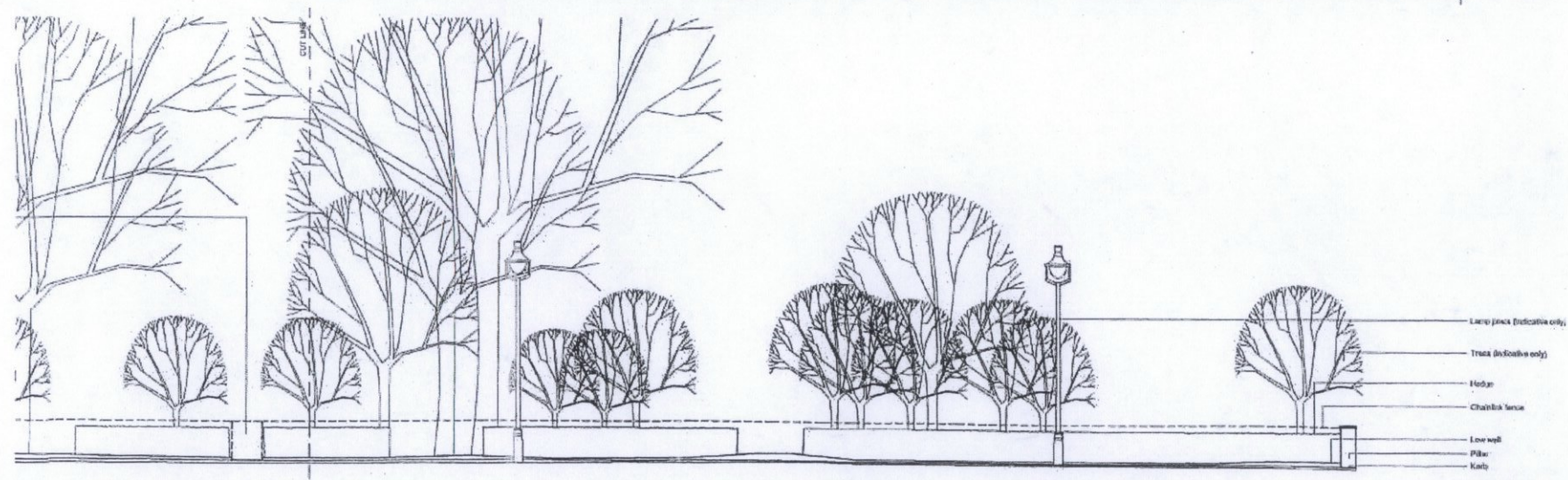
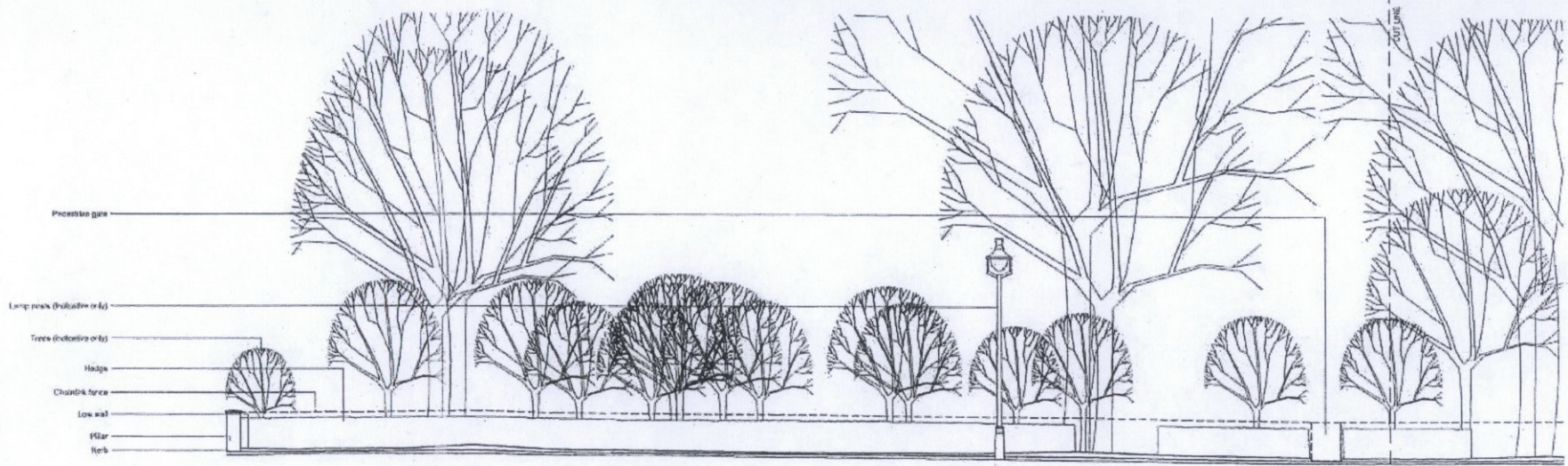
211 Fincham Road
 London N16 7EJ
 020 7534 1000
 www.fabrik.co.uk

No. Date
 Revision
 General Reference:
 • 102-103 Gloucester Square - City of Westminster
 • Gloucester Square - City of Westminster

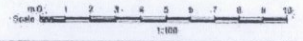
Project
**Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners**
 Drawing No.
D2292 L.412
 Drawing
**Gloucester Square: Existing Elevations
 Sheet 1**

Scale
1:100 @ A1
 Date
Feb '15
 Drawn
AW
 Checked
 Pedestrian
 Street for Parking Approval
 Street for Construction
 Based on Design Information
 Based on Fieldwork
 As Built
 Drawing sheet size - A1
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Elevation 2



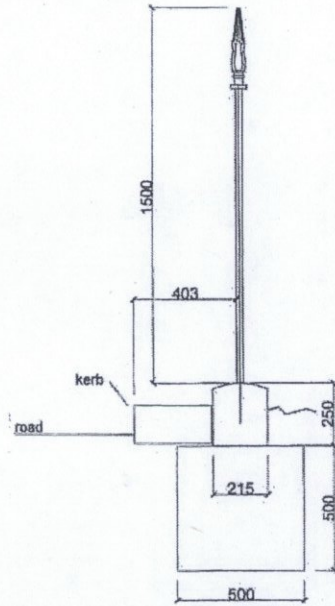
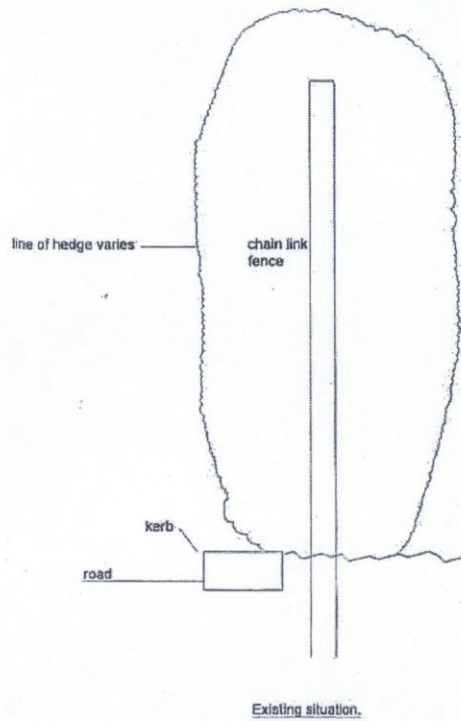
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 W: www.fabrikstudio.com

No. Date
 Revision
 Revised by:
 1. Fabrik Gloucester Square - May 2010
 2. Gloucester Square (CA) Block 08 - 10/10/10

Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners.
 Drawing
 Gloucester Square: Existing Elevations.
 Sheet 2

Date
 1:100 @ A1 Feb '15
 Drawing No.
 D2292 L.413
 Drawing Scale - A1
 Author
 AW
 Checked
 AW
 Approved for Planning Approval
 Approved for Construction
 Approved for Development
 Approved for Service
 Approved for Use
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General Notes

- This drawing must not be scaled
- Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 65 x 15 flat top rail
 Forged railing heads to match existing.
 Bars sealed in to stone coping.

Index	Date	Description
C	08-05-15	Single gate added
B	07-04-15	Height revised
A	23-03-15	Height increased to 1500

REVISIONS

METALCRAFT
 TOTTENHAM LIMITED
STEEL FABRICATORS AND METALWORKERS LTD. TOTTENHAM

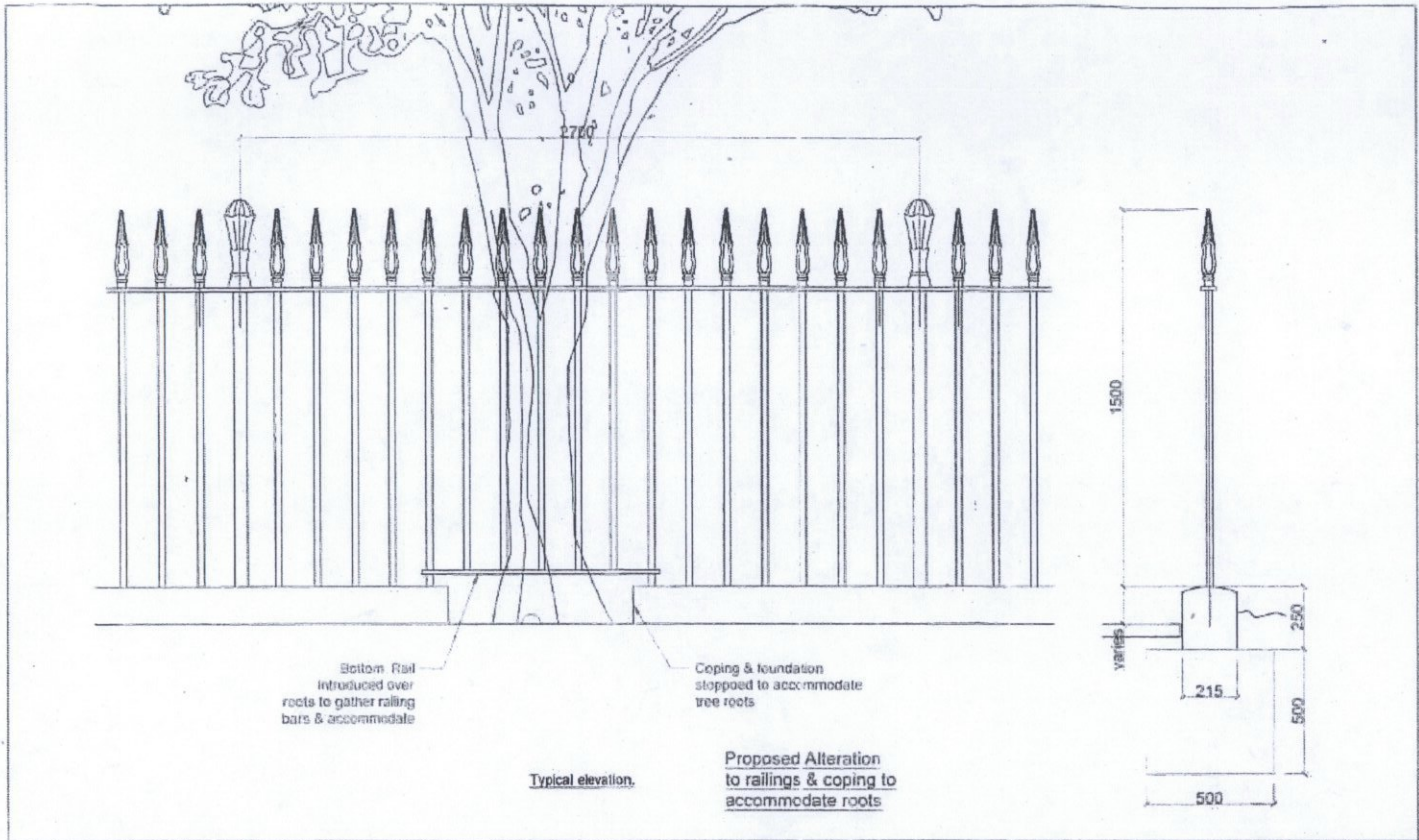
CLIENT
 The Church Commissioners

PROJECT
 Hyde Park Square & Gloucester Square

DRAWING TITLE
 Before and after conditions

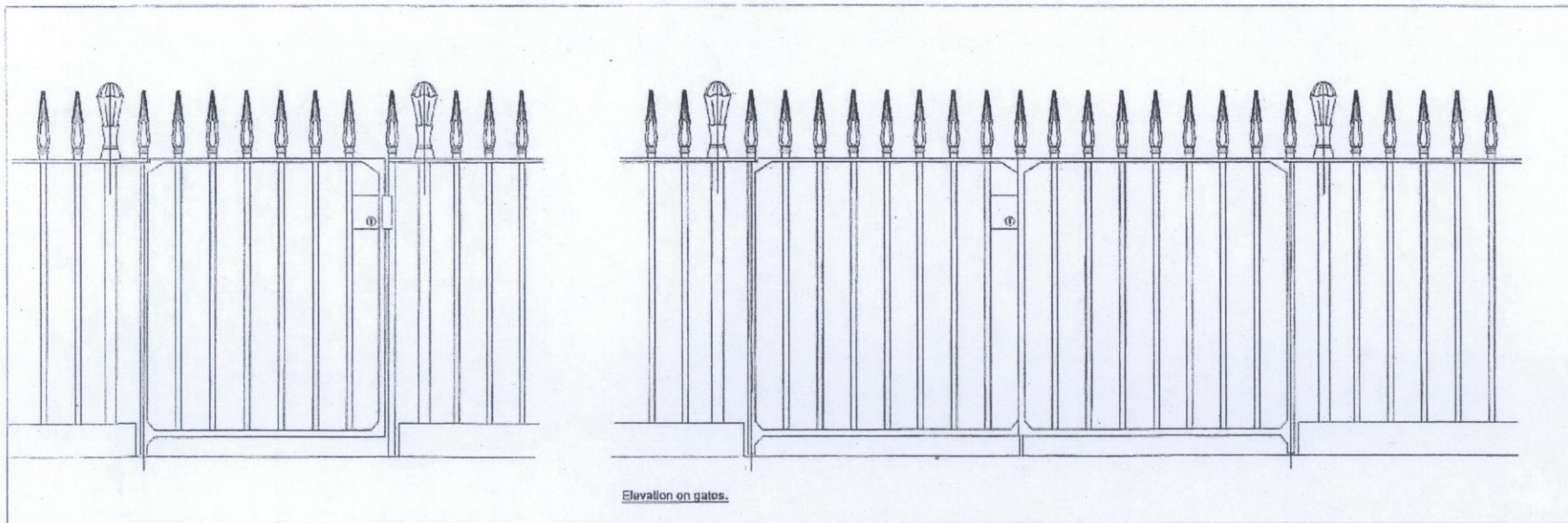
DRAWN BY	CHECKED BY	DATE	SCALE
PW		14/05/15	1:1

PROJECT No. [G] - Proj01-02
 DRAWING No.



General Notes

Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 05 x 15 flat top rail
 Flanged railing heads to match existing.
 Bars lashed in to stone coping.



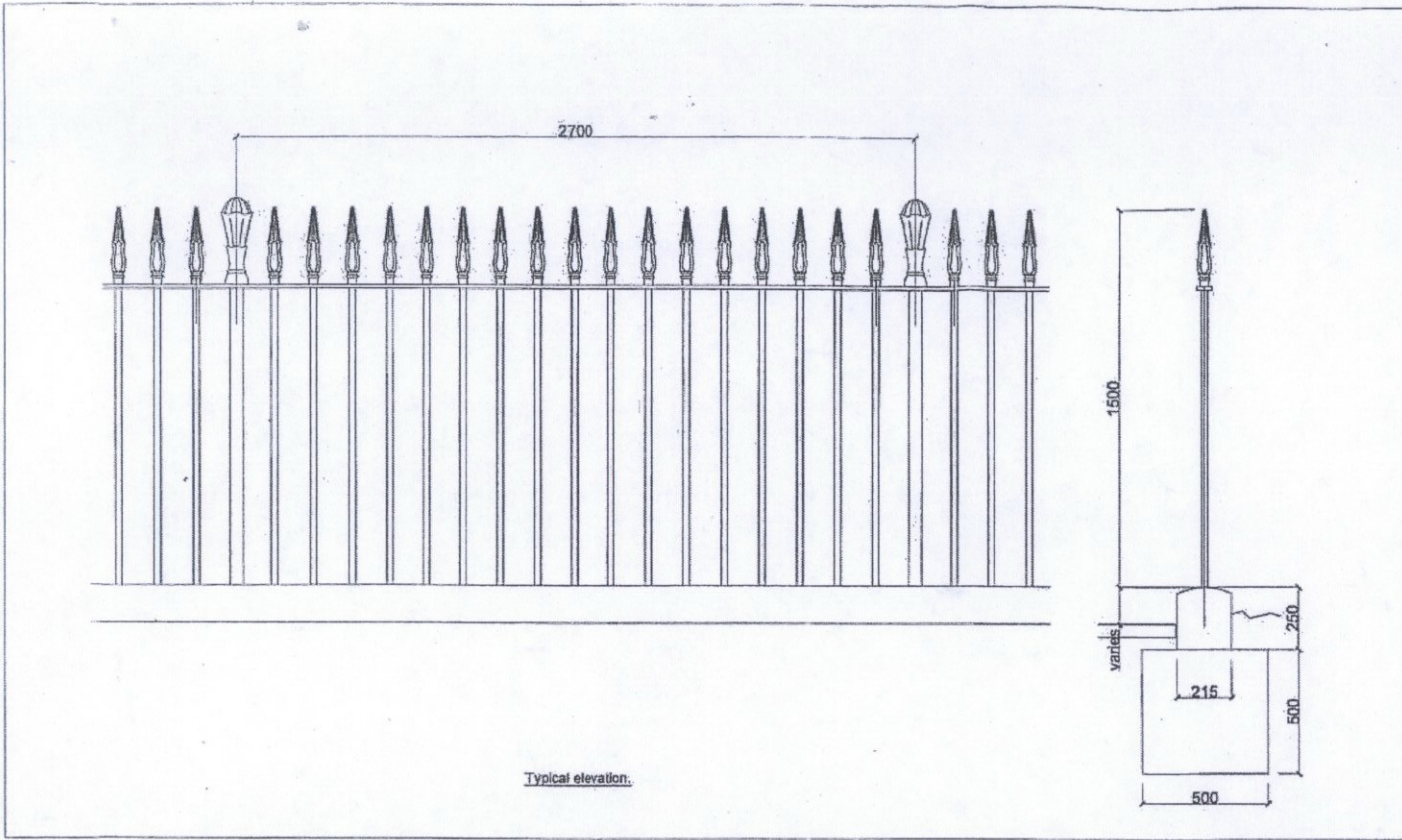
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100A, RIVER STREET, TOTTENHAM, NORTH YORKSHIRE, YO1 1AA

The Church Commissioners

Hyde Park Square & Gloucester Square

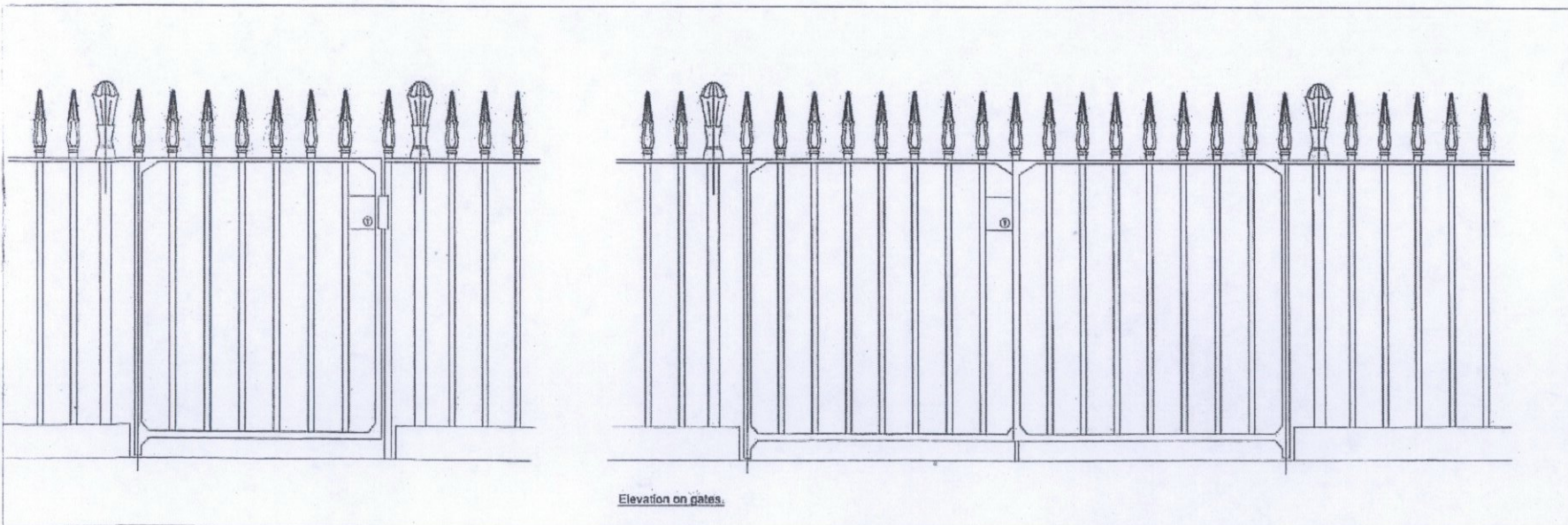
Typical railings and gates

PW	06/010	1:1
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 25 dia bars @ 100 c/c
 50 dia posts
 65 x 15 flat top rail
 Forged rolling heads to match existing.
 Bars leaded in to stone coping.



Index	Date	Description
C	08-05-15	Single gate added
B	07-04-15	Height revised
A	23-03-16	Height increased to 1500

REVISIONS

METALCRAFT TOTTENHAM LIMITED
 METALCRAFT TOTTENHAM LIMITED
 100, BRISTOL ROAD, TOTTENHAM, NORTH YORKSHIRE, YO1 1PH

CUSTOMER
 The Church Commissioners

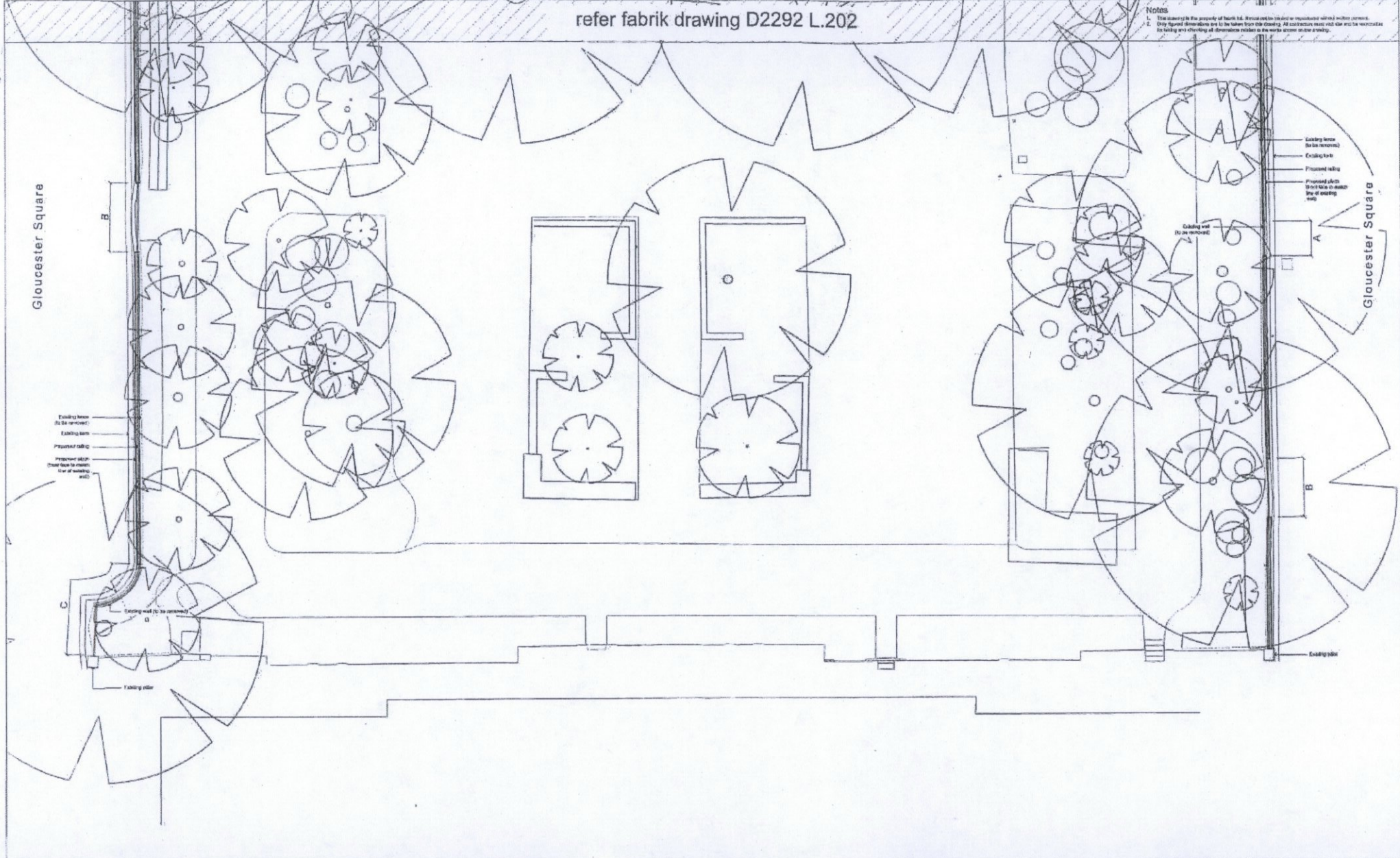
PROJECT
 Hyde Park Square & Gloucester Square

DRAWING TITLE
 Typical railings and gates

DESIGN BY PW	CHECKED BY SKW	DATE 06/02/15	SCALE 1:1
PROJECT No.		DRAWING No.	
[C] - Prelim-01			

refer fabrik drawing D2292 L.202

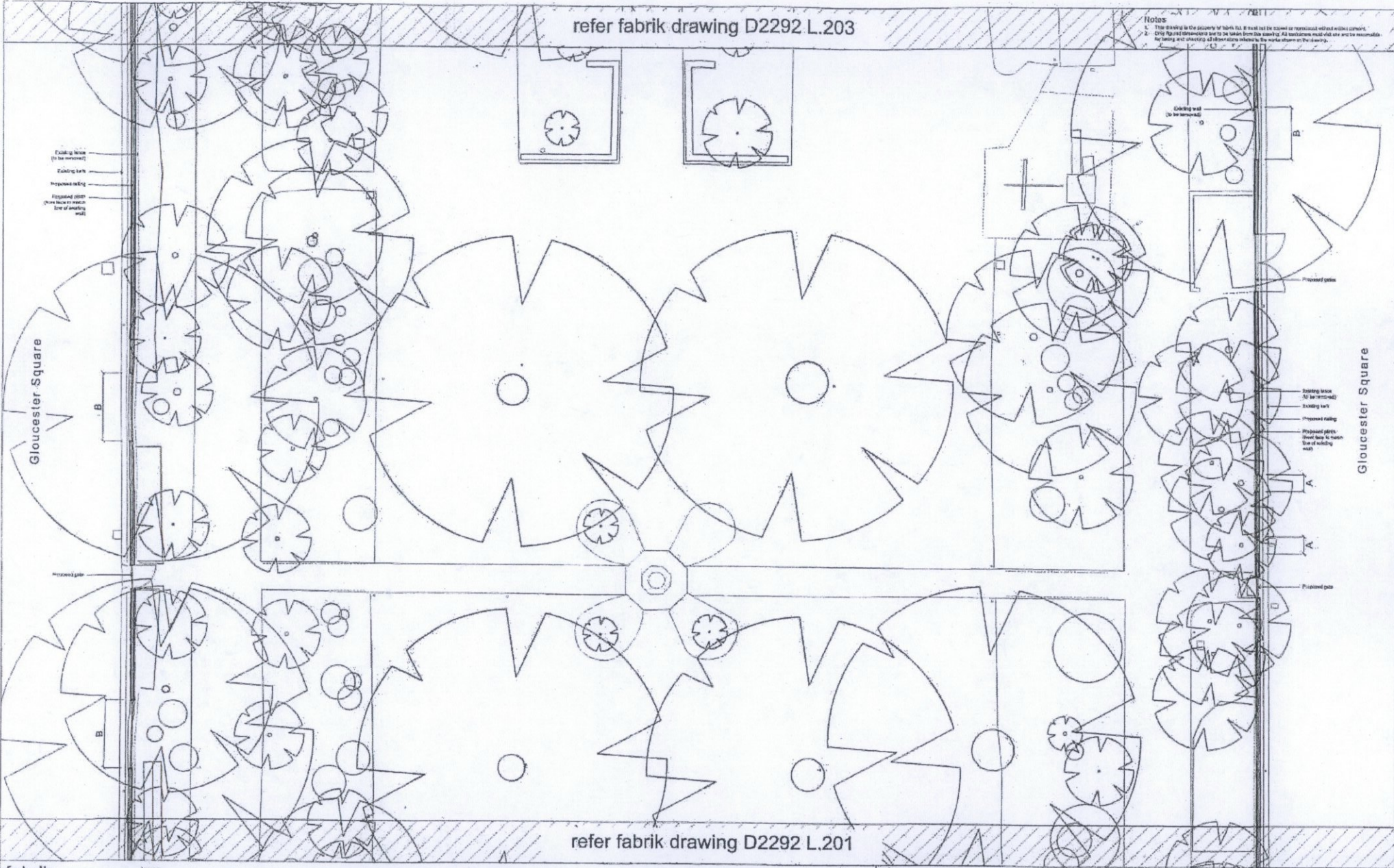
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fabrik <small>11 City Road Hoxton Street Manchester M2 3AT</small> <small>T: 0161 242 1172 E: info@fabrik.co.uk W: www.fabrik.co.uk</small>	Legend Existing lines retained Existing ledge Existing wall Existing door to be removed Existing wall to be removed Existing floor	Proposed door (refer manufacturer's drawings for details) Proposed window (refer manufacturer's drawings for details) Proposed 100mm height raised wall (refer manufacturer's drawings for details)	A: Typical outline of small mass (refer manufacturer's drawings for details) B: Typical outline of large mass (refer manufacturer's drawings for details) C: Typical outline of large mass - Gloucester Square (refer manufacturer's drawings for details)	Scale 1:100 	Project Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners Party Gloucester Square: General Arrangement Plan (sheet 1 of 3)	Date 1:100 @ A1 Rev Aug '15 Drawing No. D2292 L.201 <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Issued for Planning Approval <input checked="" type="checkbox"/> Issued for Construction <input type="checkbox"/> Issued for Construction <input type="checkbox"/> Issued for Tender <input type="checkbox"/> As Built <small>Copyright Reserved</small>	Drawn AW Check AW Revised B
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refer fabrik drawing D2292 L.203

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refer fabrik drawing D2292 L.201

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www.fabrik.london.uk

Legend	Symbol	Description	
	Existing trees retained	Existing fence	
	Existing hedge	Existing wall	
	Existing wall	Proposed site for glass structure (refer manufacturer's drawings for details)	
	Proposed perimeter glass (refer manufacturer's drawings for details)		A) Typical wall type at street level (refer manufacturer's drawings for details)
	Proposed 100mm fabric clad walls (refer manufacturer's drawings for details)		B) Typical wall type at large level (refer manufacturer's drawings for details)
	Proposed 100mm fabric clad walls (refer manufacturer's drawings for details)		C) Typical wall type at large level (refer manufacturer's drawings for details)

Scale: 1:100

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Drawing No.: D2292 L.202
Date: Aug '15
Author: AW
Revision: B

Drawn by: AW
Checked by: AW

External References:
- 1018461-GLOUCESTER SQUARE: City of Gloucester
- Gloucester Square - CAD Block 08 1152.dwg

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Drawing No.: D2292 L.202
Date: Aug '15
Author: AW
Revision: B

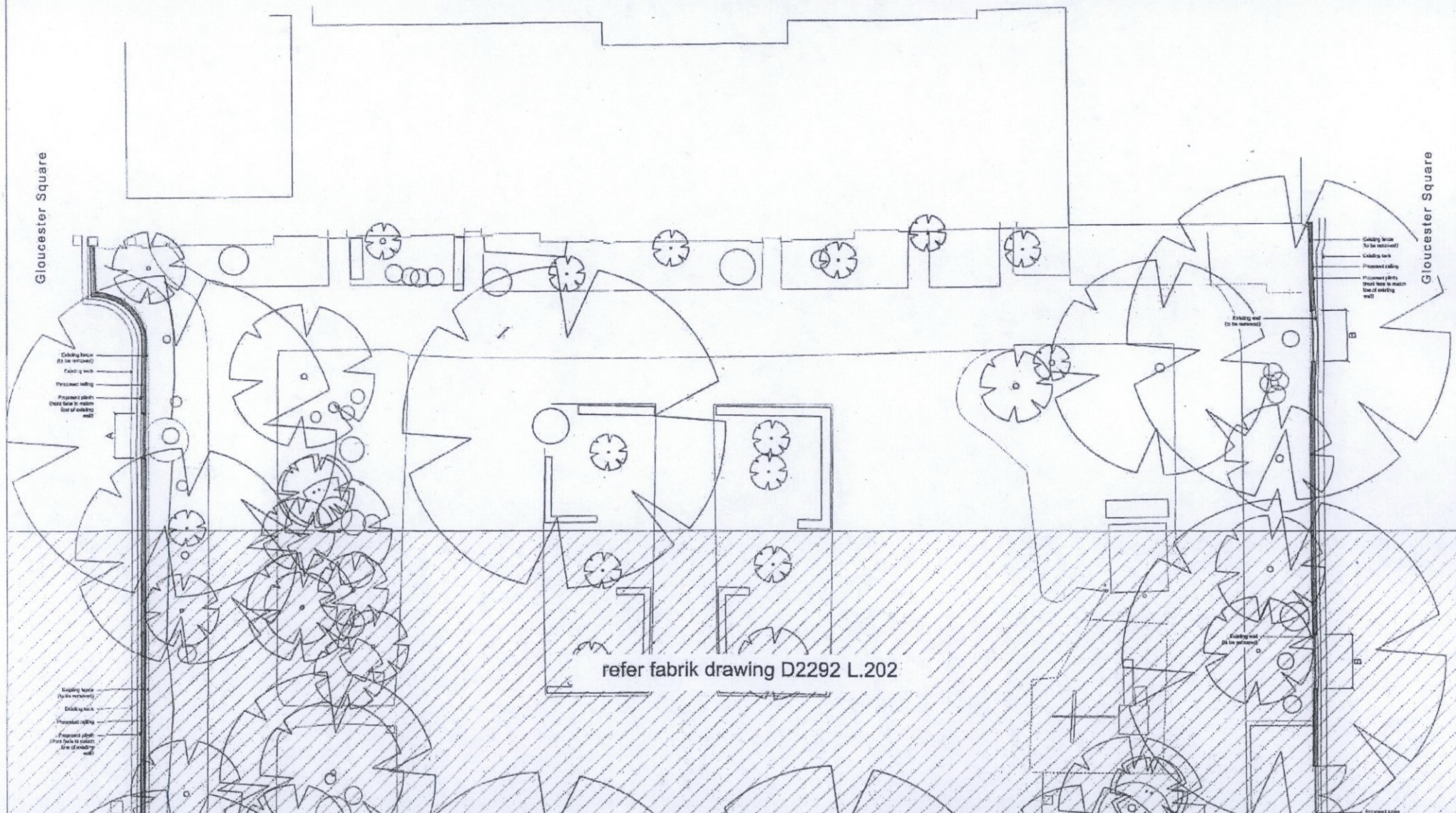
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Checked by: AW

External References:
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- Gloucester Square - CAD Block 08 1152.dwg

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<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
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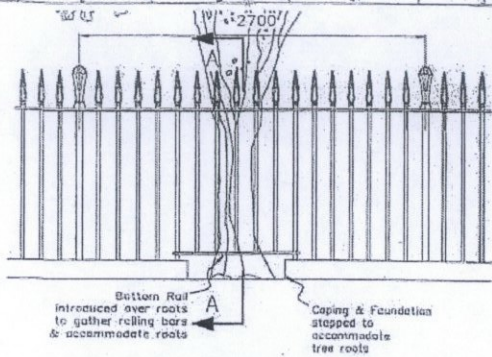
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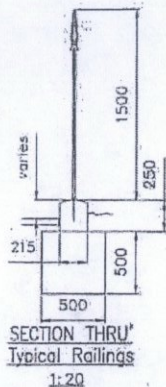


refer fabrik drawing D2292 L.202

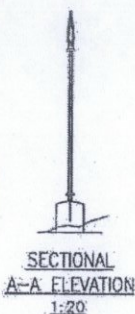
fabrik <small>The Firm Limited House 100-102 102-104</small>	Legend: Existing trees retained Existing fence Existing wall Existing window Existing door Existing wall (to be removed) Existing window (to be removed)	Proposed plant year manufacturer's drawings for details Proposed outdoor space (after manufacturer's drawings for details)	A: Typical details of small trees (after manufacturer's drawings for details) B: Typical details of large trees (after manufacturer's drawings for details) C: Typical details of large trees - Gloucester Square (after manufacturer's drawings for details)	10 0 1 2 3 4 5 6 7 8 9 10 Scale: 1:100 	Page: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners Drawing: Gloucester Square: General Arrangement Plan (sheet 3 of 3) Date: Aug '15 Scale: 1:100 @ A1 Author: Name:	Drawing No: D2292 L.203 Revision: B <input type="checkbox"/> Issued for Preliminary Approval <input type="checkbox"/> Issued for Planning Approval <input type="checkbox"/> Issued for Construction <input type="checkbox"/> Issued for Design/Value/Scope <input type="checkbox"/> Issued to Funder <input type="checkbox"/> As Built Copyright Reserved
	<small>T: 0181 244 9172 E: info@fabrik.com W: www.fabrik.com</small>	<small># 13.08.16 Street names added. Please check revised drawings for alterations and line spacing. A: 27.08.19 Rev. Date Revised: Approved: 10/14-GL-GLoucester Square - City DWP Gloucester Square - 100-102/104-106</small>	<small>AW Name</small>	<small>AW Name</small>		



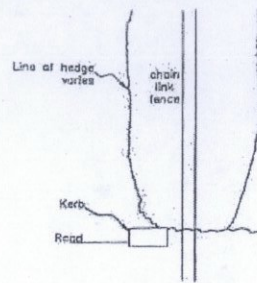
FRONT ELEVATION
Typical Railings at Small Trees
1:20



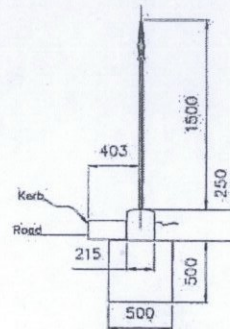
SECTIONAL A-A ELEVATION
Typical Railings
1:20



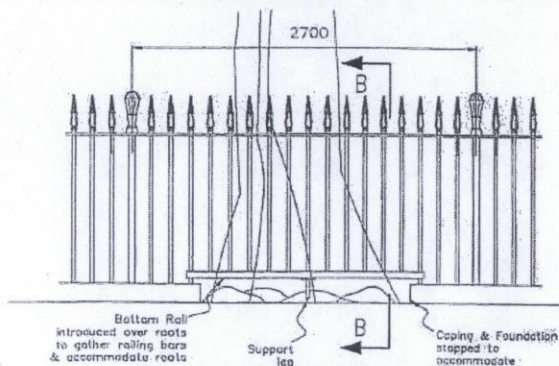
SECTIONAL A-A ELEVATION
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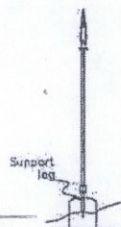
SECTION THRU' Old Fencing
1:20



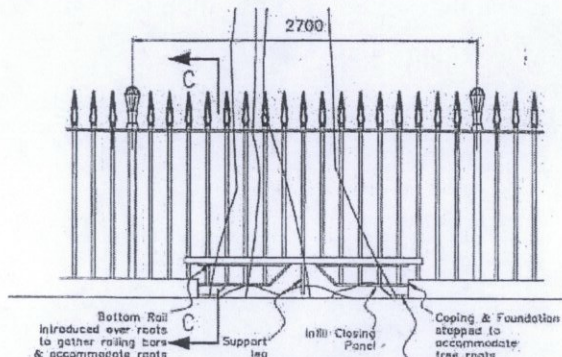
SECTION THRU' New Railings
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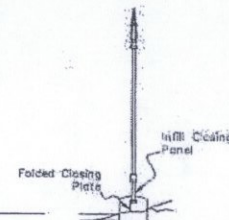
FRONT ELEVATION
Typical Railings at Large Trees
1:20



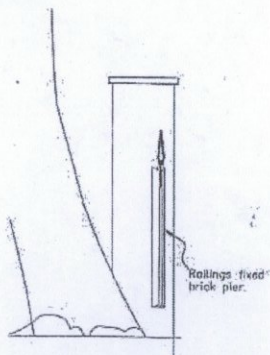
SECTIONAL B-B ELEVATION
1:20



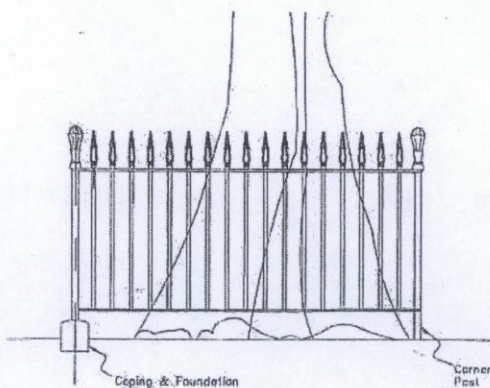
FRONT ELEVATION
Typical Railings at Large Trees with Infill Railings Under Rail
1:20



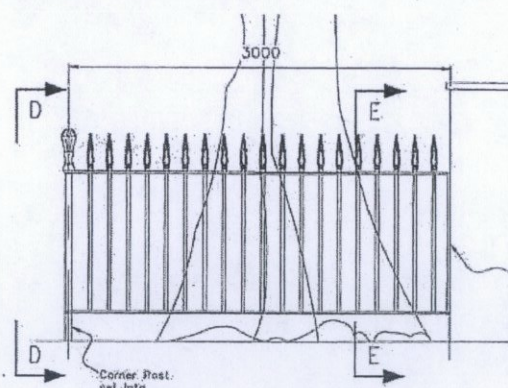
SECTIONAL C-C ELEVATION
1:20



SECTIONAL E-E ELEVATION
1:20



SECTIONAL D-D ELEVATION
1:20



FRONT ELEVATION
Corner Railing at Large Tree (Gloucester Square)
1:20

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General Notes

Component Characteristics:

Tolerances of dimension and shape: EN 1090-2 Tolerance class 1

Weldability: EN 10025-2, S275 / S355

Fracture toughness / Impact resistance: S275JR (27.0J@20°C)

S355 (35.0J@20°C)

Stainless 304 / 316

Load Bearing Capacity: Designed to BS5950 / EN 1993

Steel Specification

National Structural Steelwork Specification for Building Construction 5th Edition CE Marking

Welds

All welds to comply to MTL Welding Procedure Specifications (WPS)

Steel Grades

All UC / UB / PFC / RSA - S355JR

All SHS / RHS / CHS - S355-J2

All Plates - S275 - UNO



Rev.	Details	By	Date

Welded Structural Components
Execution Class 2 BS EN 1090

Hyde Park Sq, Sussex Sq & Gloucester Sq.

THE CHURCH COMMISSIONERS FOR ENGLAND

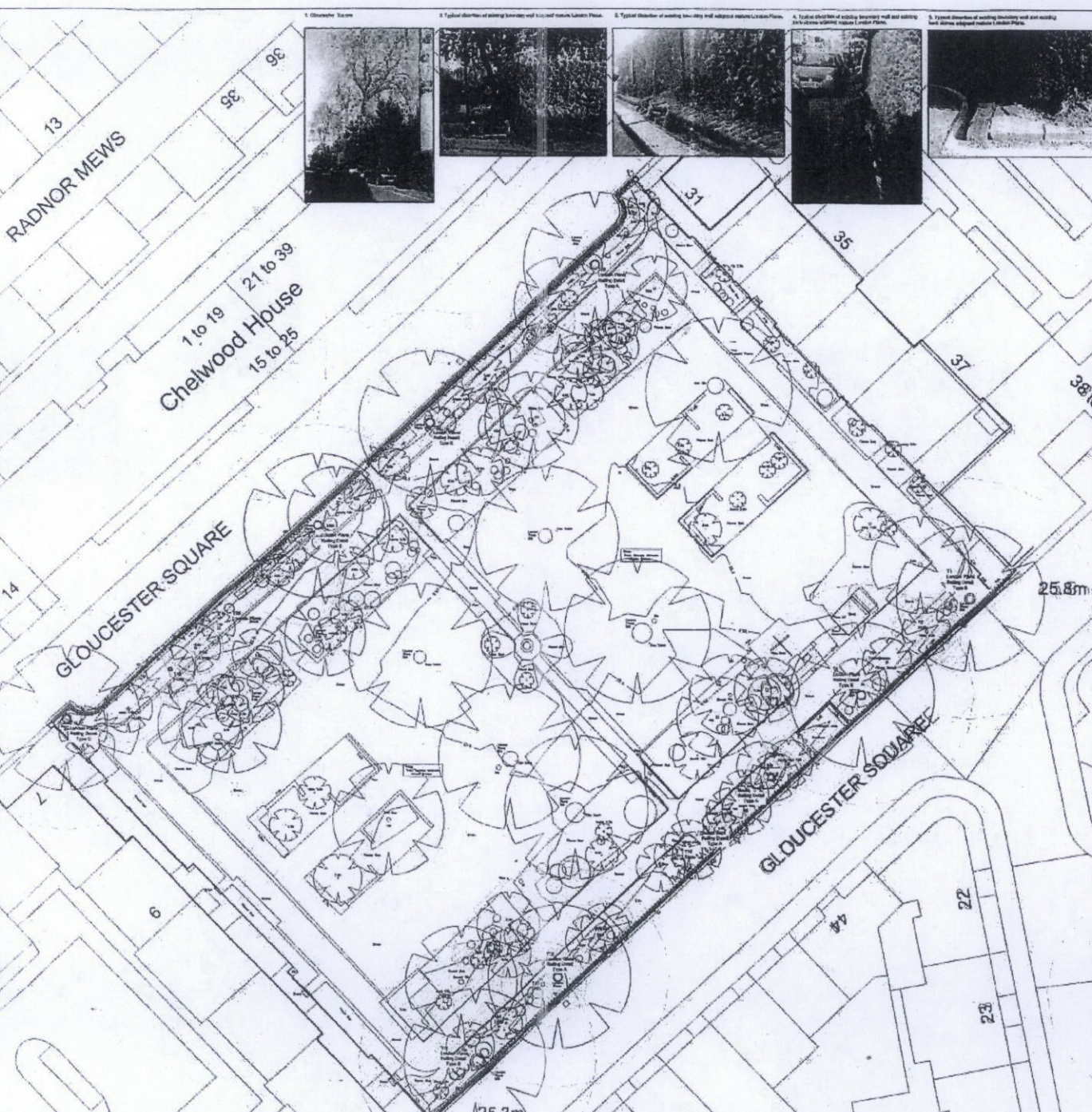
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Drawing number last:	5143-10
Issue no:	008 (09/2)
Drawn by:	W. JONES
Checked by:	
Scale:	NOT APPROVED (01/04/01)
Drawing title:	

RAILINGS
AT TREE LOCATIONS
GA

Drawing number: Project:

METALCRAFT
Tottenham Limited
11-40 Dumbard Street
Barnet, St Albans Road
London N11 5NQ
Tel: 020 8828 1713
Fax: 020 8828 1298
E-mail: sales@metalcraft.co.uk

Preliminary Proposals



1. Concrete beam
2. Typical details of retaining barrier wall to retain Level 1
3. Typical details of retaining barrier wall to retain Level 2
4. Typical details of retaining barrier wall to retain Level 3
5. Typical details of retaining barrier wall to retain Level 4

NOTES

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Legend

- Plant protection (precaution)
- Plant protection (precaution)
- Plant protection (precaution)
- Plant protection (precaution)
- Plant protection (precaution)

Table 1: Schedule of planting works

Work Stage	Planting	Planting	Planting
Planting	Planting	Planting	Planting
Planting	Planting	Planting	Planting
Planting	Planting	Planting	Planting

Table 2: Work stages and steps of arboricultural methodology

Work stage: Arboricultural methodology

Step: Arboricultural methodology

Table 3: Typical details of retaining barrier wall to retain Level 1

Typical details of retaining barrier wall to retain Level 1

Table 4: Typical details of retaining barrier wall to retain Level 2

Typical details of retaining barrier wall to retain Level 2

Table 5: Typical details of retaining barrier wall to retain Level 3

Typical details of retaining barrier wall to retain Level 3

Table 6: Typical details of retaining barrier wall to retain Level 4

Typical details of retaining barrier wall to retain Level 4

Table 7: Typical details of retaining barrier wall to retain Level 5

Typical details of retaining barrier wall to retain Level 5

Table 8: Typical details of retaining barrier wall to retain Level 6

Typical details of retaining barrier wall to retain Level 6

Table 9: Typical details of retaining barrier wall to retain Level 7

Typical details of retaining barrier wall to retain Level 7

Table 10: Typical details of retaining barrier wall to retain Level 8

Typical details of retaining barrier wall to retain Level 8

Table 11: Typical details of retaining barrier wall to retain Level 9

Typical details of retaining barrier wall to retain Level 9

Table 12: Typical details of retaining barrier wall to retain Level 10

Typical details of retaining barrier wall to retain Level 10

Table 13: Typical details of retaining barrier wall to retain Level 11

Typical details of retaining barrier wall to retain Level 11

Table 14: Typical details of retaining barrier wall to retain Level 12

Typical details of retaining barrier wall to retain Level 12

Table 15: Typical details of retaining barrier wall to retain Level 13

Typical details of retaining barrier wall to retain Level 13

Table 16: Typical details of retaining barrier wall to retain Level 14

Typical details of retaining barrier wall to retain Level 14

Table 17: Typical details of retaining barrier wall to retain Level 15

Typical details of retaining barrier wall to retain Level 15

Table 18: Typical details of retaining barrier wall to retain Level 16

Typical details of retaining barrier wall to retain Level 16

Table 19: Typical details of retaining barrier wall to retain Level 17

Typical details of retaining barrier wall to retain Level 17

Table 20: Typical details of retaining barrier wall to retain Level 18

Typical details of retaining barrier wall to retain Level 18

Table 21: Typical details of retaining barrier wall to retain Level 19

Typical details of retaining barrier wall to retain Level 19

Arboricultural Method Statement

The purpose of this statement is to provide a clear and concise overview of the arboricultural methodology to be used on the site. It is intended to be used as a guide for the contractor and to ensure that the work is carried out in a safe and efficient manner.

The work shall be carried out in accordance with the contract and the relevant standards. It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and to ensure that the site is left in a clean and tidy condition.

1. Site assessment
2. Risk assessment
3. Tree assessment
4. Tree protection
5. Tree removal
6. Tree preservation
7. Tree replacement
8. Tree maintenance
9. Tree monitoring
10. Tree reporting

Storage of materials - All materials to be used on the site shall be stored in a secure and safe location. It is the responsibility of the contractor to ensure that the materials are stored in a safe and secure location and that they are not damaged or lost.

Working hours - All work shall be carried out during the hours of 08:00 to 18:00. It is the responsibility of the contractor to ensure that the work is carried out during the hours of 08:00 to 18:00 and that the site is left in a clean and tidy condition.

Health and safety - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Quality control - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Insurance - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Access - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site security - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site cleanliness - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site safety - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

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Site cleanliness - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site safety - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site security - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site cleanliness - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site safety - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

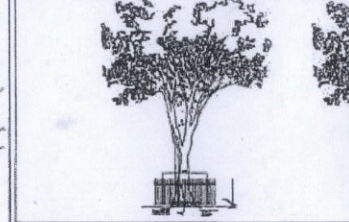
Site security - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site cleanliness - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

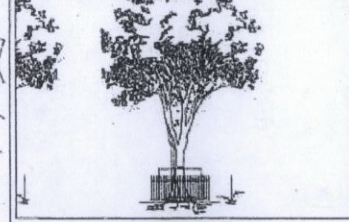
Site safety - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

Site security - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.

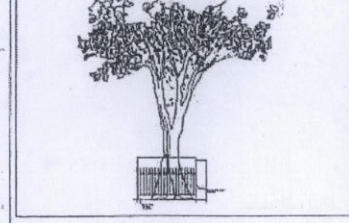
Site cleanliness - It is the responsibility of the contractor to ensure that the work is carried out in a safe and efficient manner and that the site is left in a clean and tidy condition.



Typical details of retaining barrier wall to retain Level 1



Typical details of retaining barrier wall to retain Level 2



Typical details of retaining barrier wall to retain Level 3

tree:fabrik

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18 Lambeth Road
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F: 01420 844243
E: info@treefabrik.co.uk

Project: SUSSEX, GLOUCESTER & HYDE PARK SQUARES LONDON

Drawing: ARBORICULTURAL METHOD STATEMENT GLOUCESTER SQUARE

Scale: 1:250 Date: MARCH '15

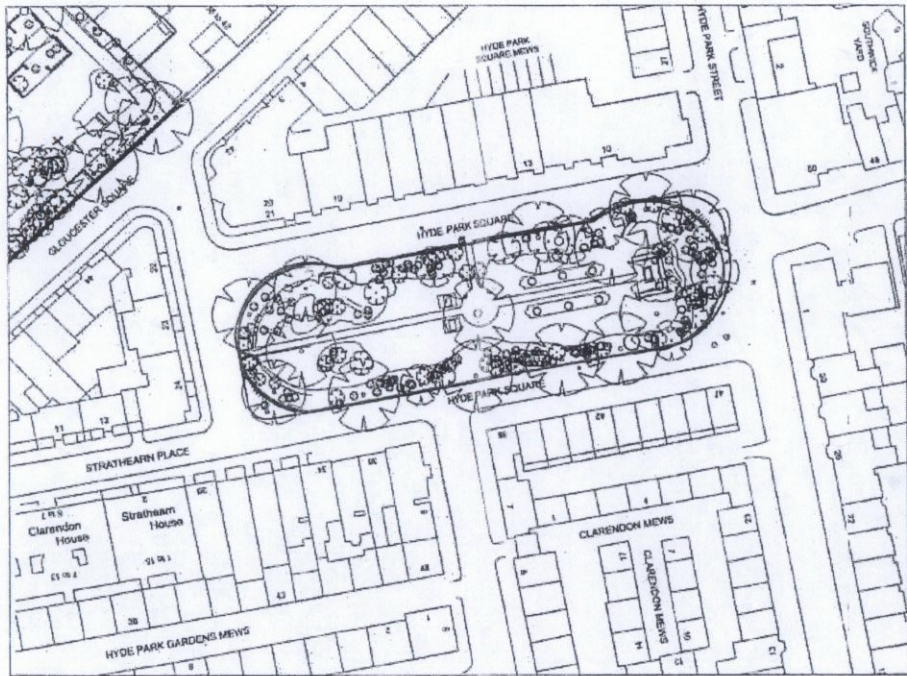
Drawing No.: 1008/MS/301

Revision: B

Legend: Primary, Insured for Planting Agency, Insured for Construction, Insured for Daily Workforce, Insured for Tender, As-built

SCALE: 1:250

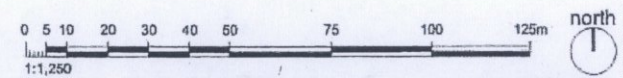
APPLICATION 3



Legend:



Application boundary



Notes

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Project
 Sussex Square, Gloucester Square & Hyde
 Park Square, London
 for The Church Commissioners
 Planning

Hyde Park Square: Location Plan

Scale
 1:1250 @ A3

Date
 Mar '15

Drawn
 AW

Revised

fabrik

Drawing No.
 D2282 L.002

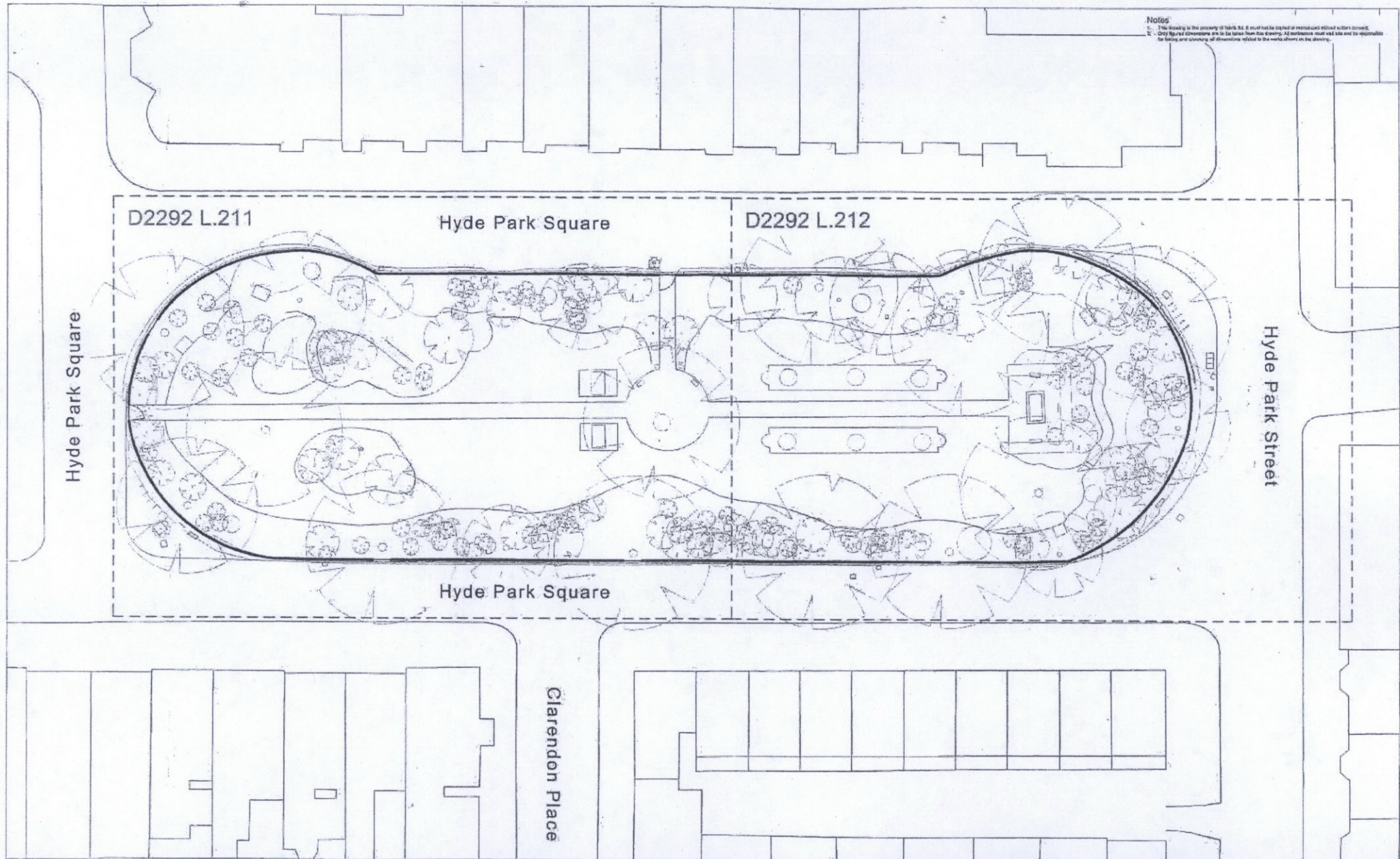
- | | |
|---|---|
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| <input type="checkbox"/> Issued for Planning Approval | <input type="checkbox"/> Issued for Tender |
| <input type="checkbox"/> Issued for Construction | <input type="checkbox"/> As Built |

Research & Plan
 Layout & Draw
 Martin Oliver
 Manchester
 M2 3JW
 T: 0161 263 7172
 E: martin@fabrik.com
 W: www.fabrik.com

Drawing sheet size - A3

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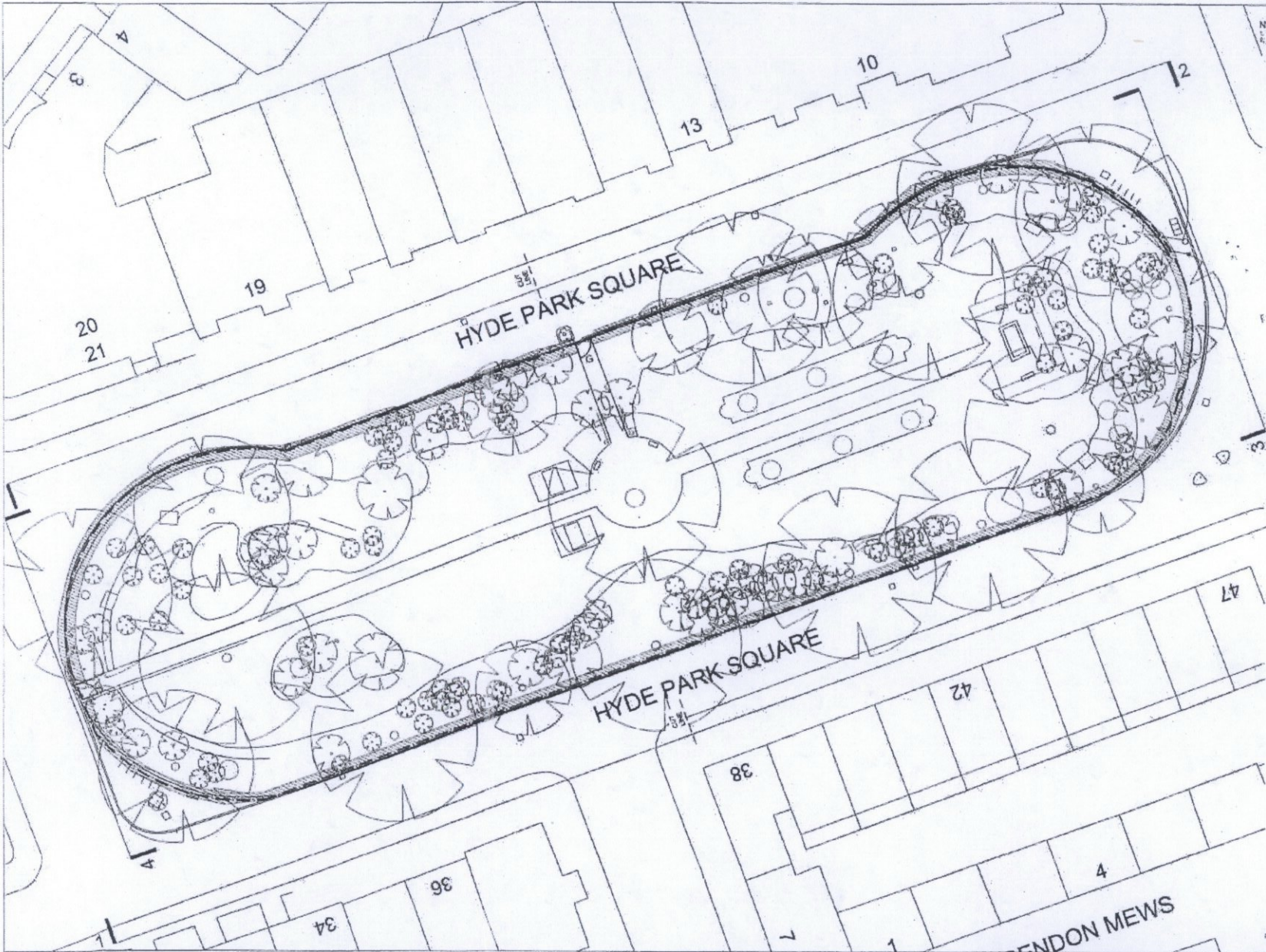
fabrik
 7th Floor
 Lombard Street
 Newcombe
 EC3N 3HX
 T: 020 7542 7172
 F: 020 7542 7173
 W: www.fabrik.com

Scale: 1:200
 0 2 4 6 8 10 12 14 16 18 20
 1:200
 north
 No. Draw: 000001
 Revision:
 External References:
 - 100100000 Public Consultation - Copy Stamp
 - Hyde Park Square - CAD Block 06-1058.dwg

Project:
 Sussex Square, Gloucester Square & Hyde Park Square
 London
 for The Church Commissioners
 Drawing:
 Hyde Park Square: Drawing Location Plan

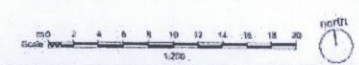
Scale: 1:200 @ A1
 Date: Aug '15
 Drawn: AW
 Drawing No.: D2292 L.210
 Revision:
 Drawing sheet size: A1
 Copyright: Fabrik B.V.

<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issued for Detailed Construction
<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As B.B.S.



Notes
 1. Any planting in the property of Hyde Park Square should be subject to approval of the relevant authority.
 2. Only approved materials are to be used for the railings, all materials to be used should be subject to approval of the relevant authority.

- Legend:**
- Existing trees retained
 - Existing hedges to be removed
 - Proposed 1500mm height metal railings (refer manufacturer's drawings for details)
 - Proposed plantation species (refer manufacturer's drawings for details)



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 100, 101, 102, 103
 Gloucester Square
 London, W1G 8JH
 Tel: 020 7462 1000
 www.fabrik.com

Authorisation:
 A 11/03/16 - Approved
 A 11/03/16 - Existing hedges to be removed. Cavity provided.
 No. 11/03/16
 Reason:
 National Railways
 100 Gloucester Square, W1G 8JH
 Gloucester Square - CAD Store 02-1000-000

Project:
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners

Drawings:
 Hyde Park Square: Railings Plan

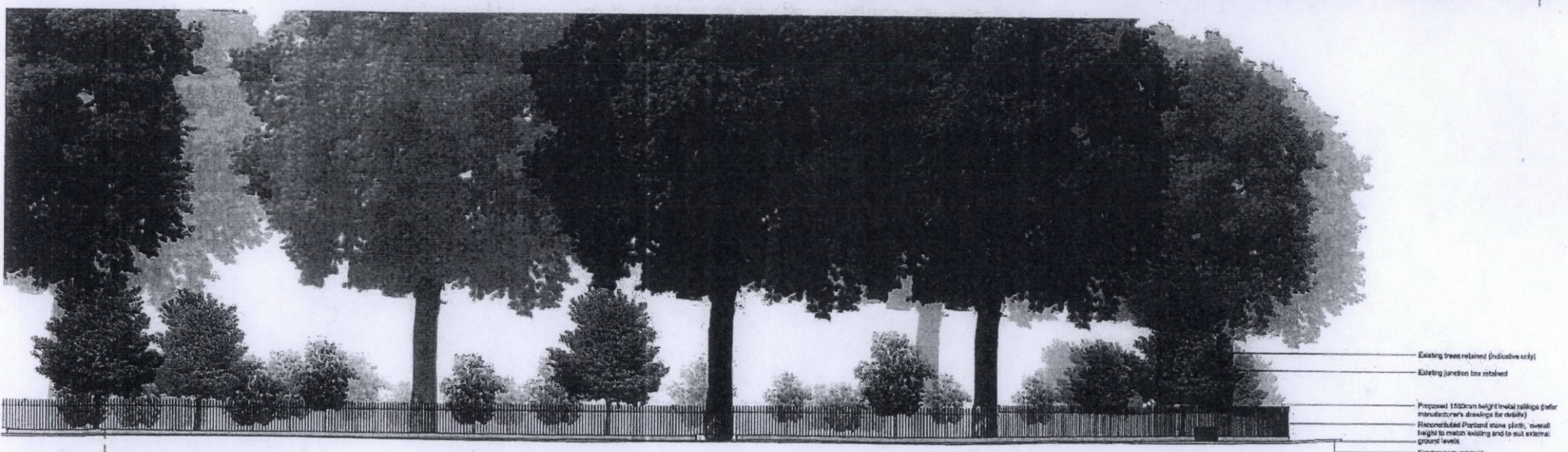
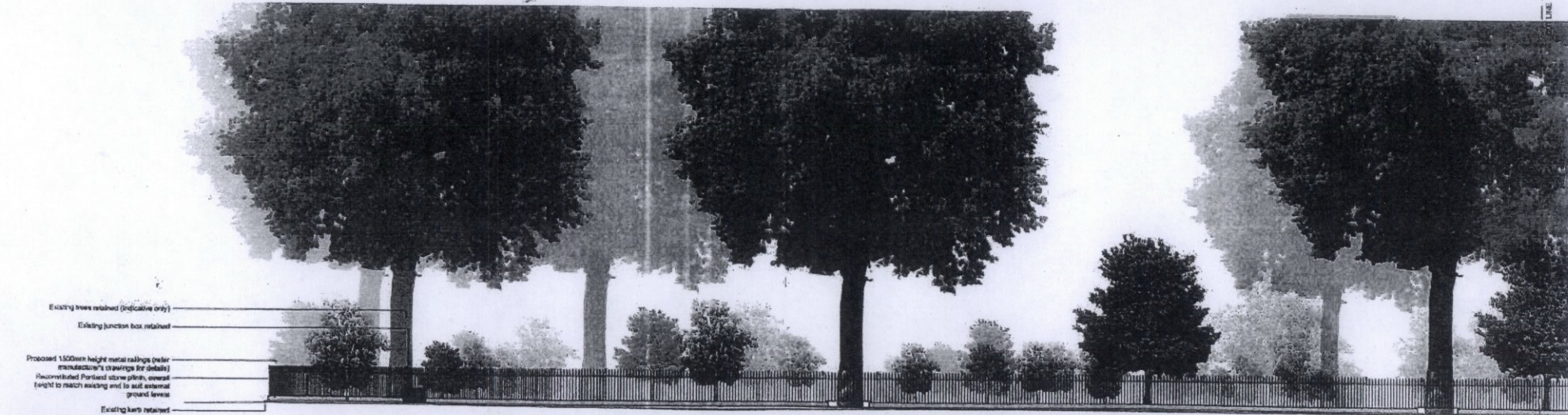
Scale: 1:200 @ A1
Date: Jan '15
Drawn: AW
Drawing No.: D2292 L.102
Revision: B

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<input type="checkbox"/> Based on Planning Approval	<input type="checkbox"/> Based on Fieldwork
<input type="checkbox"/> Based on Contour Lines	<input type="checkbox"/> As Shown

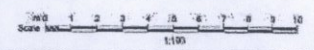
Drawing sheet 102 - A1

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Elevation ↑



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Levy House,
Markle Street
Leeds LS2 9JW

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E: markle@fabrik.co.uk
W: www.fabrik.com

C: 37.06.15. RALING alterations finished in accordance with manufacturer's proposals.
 B: 25.02.15. RALING height reduced. Existing height retained.
 A: 17.02.15. Installation completed to policy approved railing details.
 No. Code: Remarks:
 External References:
 • 1414462 SUSSEX SQUARE: Cray (2015)
 • Gloucester Square + GAO 8502 DR (2010)

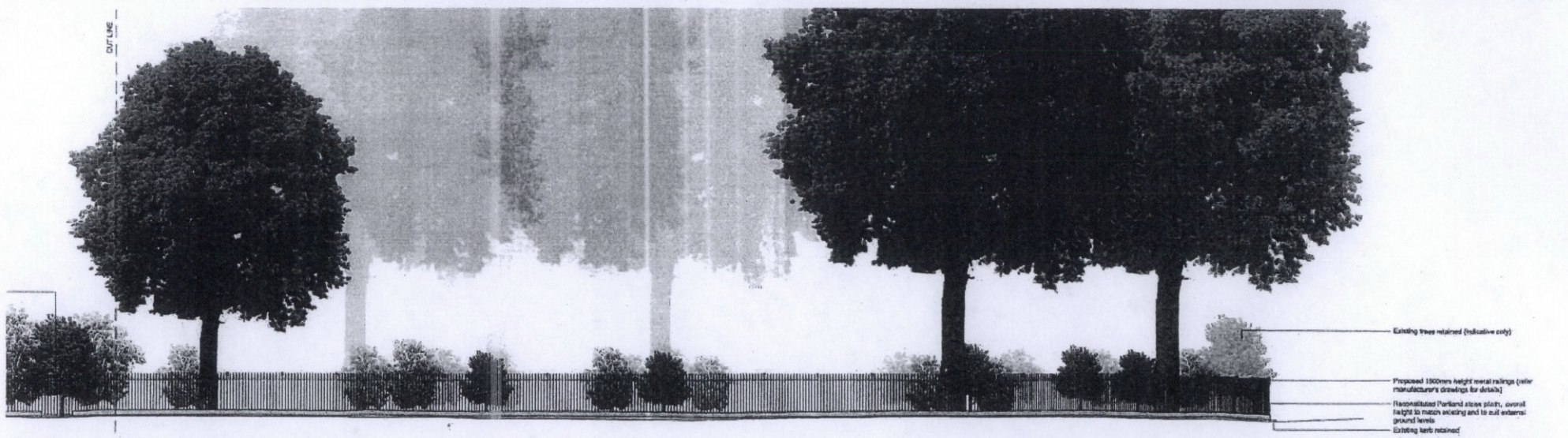
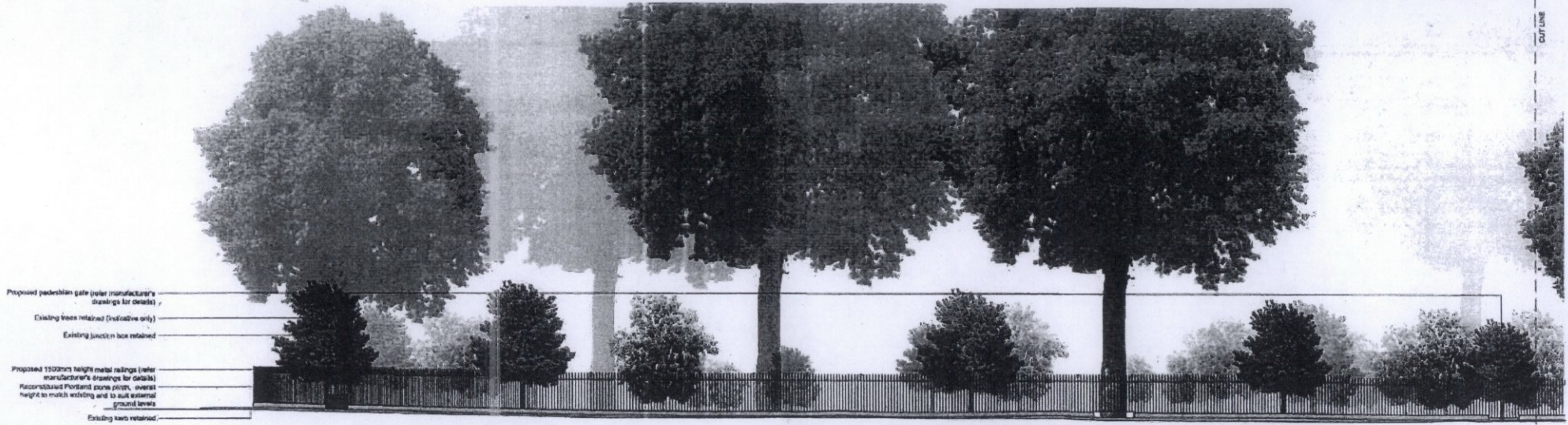
As:
AW
AW
Name:

Project
Sussex Square, Gloucester Square & Hyde Park Square,
London
for The Church Commissioners
Drawing
Hyde Park Square: Site Sections & Elevations
Sheet 1

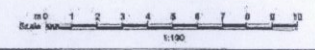
Scale
1:100 @ A1
Date
Jan '15
Drawing No.
D2292 L.420
Revision
C
 Preliminary
 Issued for Planning Approval
 Issued for Construction
 Drawn by Design/Authorisation
 Issued for Tender
 As Built
 Drawing sheet size - A1
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Elevation 2



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No.	Date	Revision
E	27.08.15	Final alterations issued in accordance with manufacturer's proposals.
D	20.08.15	Gate amended.
C	23.05.15	Final height revised. Existing kerb removed.
B	23.05.15	Architectural amendments.
A	17.02.15	Elevation amended to reflect amended railing details.

AW
AW
AW
AW
AW

Project
Sussex Square, Gloucester Square & Hyde Park Square, London
for The Church Commissioners

Drawing
Hyde Park Square; Site Sections & Elevations Sheet 2

Scale
1:100 @ A1

Date
Jan '15

Drawn
AW

Drawing No
D2292 L.421

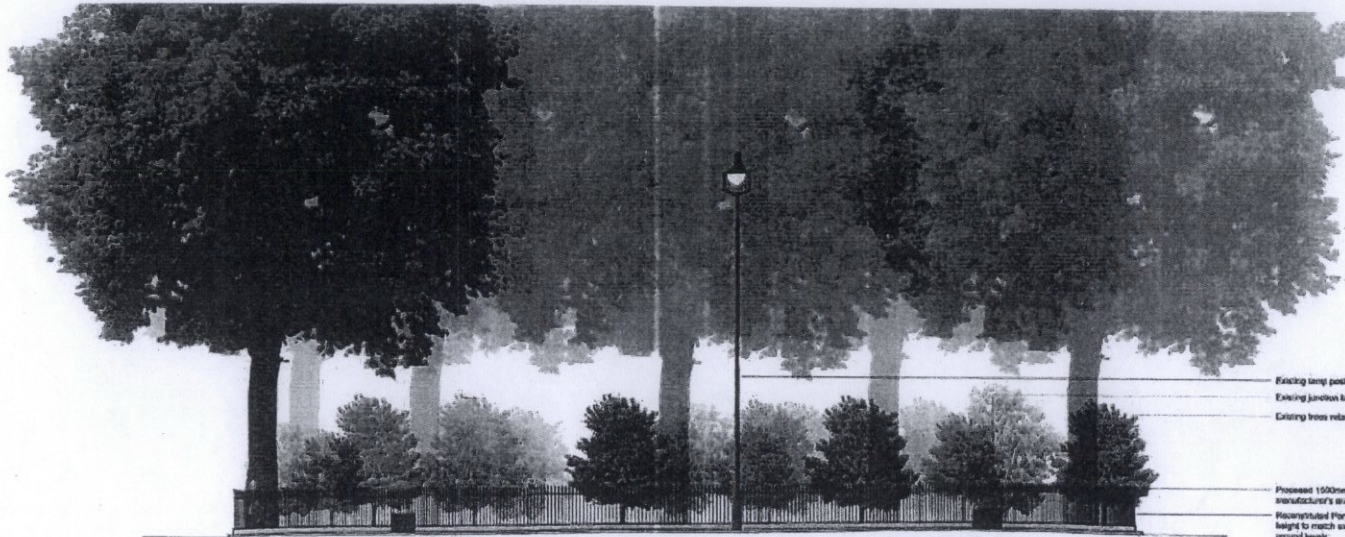
Revision
E

<input type="checkbox"/> Pathway	<input type="checkbox"/> Issue for Design/Information
<input type="checkbox"/> Issue for Planning Approval	<input type="checkbox"/> Issue for Tender
<input type="checkbox"/> Issue for Construction	<input type="checkbox"/> As Issued

Drawing sheet size - A1
Copyright Reserved ©

Notes

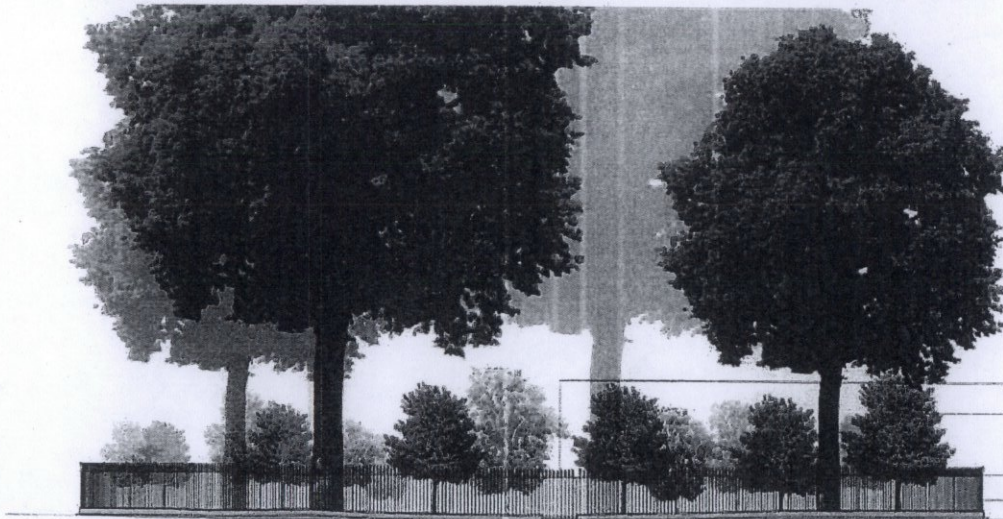
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Elevation 3

Existing lamp post retained
Existing junction box retained
Existing trees retained (indicative only)

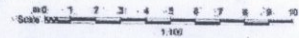
Proposed 1500mm height metal railings (refer manufacturer's drawings for details)
Reconstituted Portland stone slabs, except height to match existing and to suit external ground levels
Existing kerb retained



Elevation 4

Proposed perforation gates (refer manufacturer's drawings for details)
Existing trees retained (indicative only)

Proposed 1500mm height metal railings (refer manufacturer's drawings for details)
Reconstituted Portland stone slabs, except height to match existing and to suit external ground levels
Existing kerb retained



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21 20.03.15 Planning length omitted Existing hedge removed.
22 21.02.15 Plots added
23 20.02.15 Elevations amended to reflect revised railing details.
24 14.03.15 Revisions

Authorised Representative:
18 194-06-02/23 IER BOUANE - Essex DMG
18 194-06-02/23 IER BOUANE - Essex DMG

AW
AW
AW
March

Project
**Sussex Square, Gloucester Square & Hyde Park Square,
London
for The Church Commissioners**

Location
**Hyde Park Square: Site Sections & Elevations
Sheet 3**

Scale
1:100 @ A1

Date
Jan '15

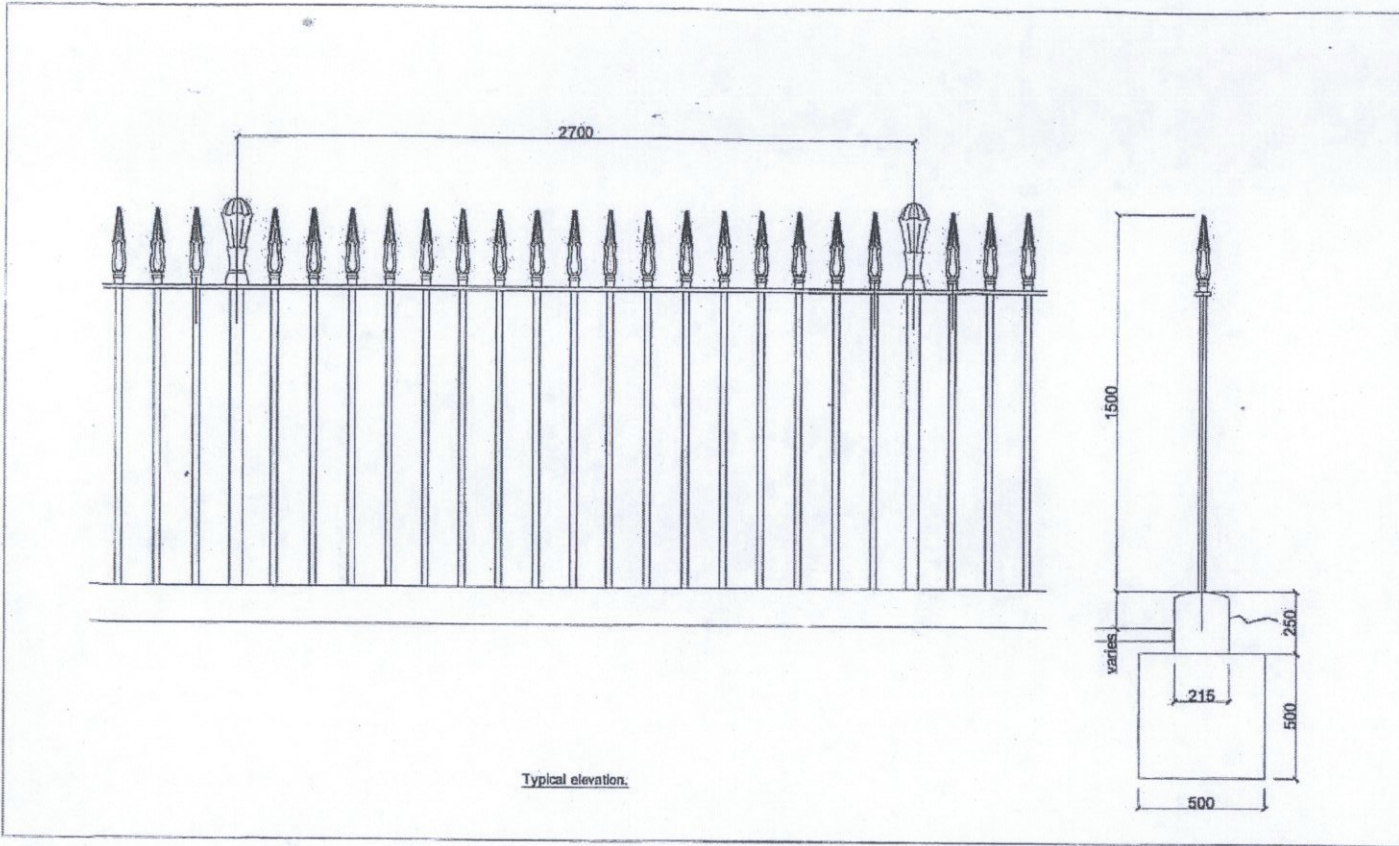
Client
AW

Drawing No.
D2292 L.422

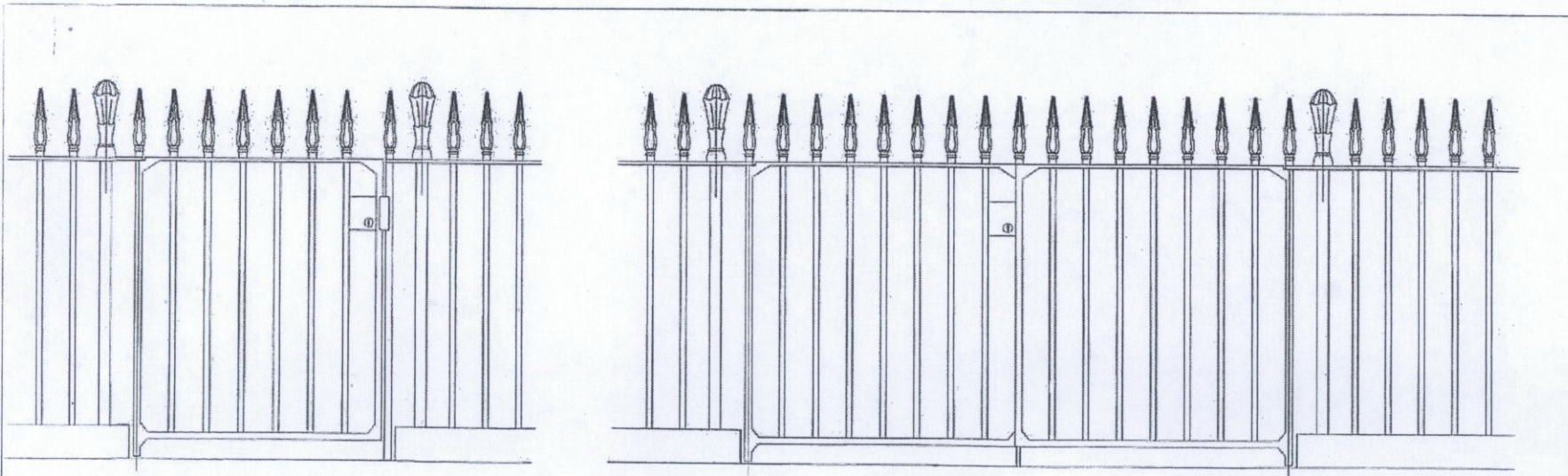
Revision
C

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<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

Drawing sheet size: A1
Energy to Plot Area: 10



Typical elevation.



Elevation on gates.

General Notes

- This drawing must not be scaled.
- Specification:
 28 dia bars @ 150 c/c
 50 dia posts
 68 x 15 flat top rail
 Forged railing heads to match existing
 Bars lapped in to stone coping.

Index	Date	Description
C	08-05-15	Single gate added
B	27-04-15	Height revised
A	23-02-15	Height increased to 1500

METALCRAFT
 TOTTENHAM LIMITED
 STEEL FABRICATION & SUPPLY SPECIALISTS

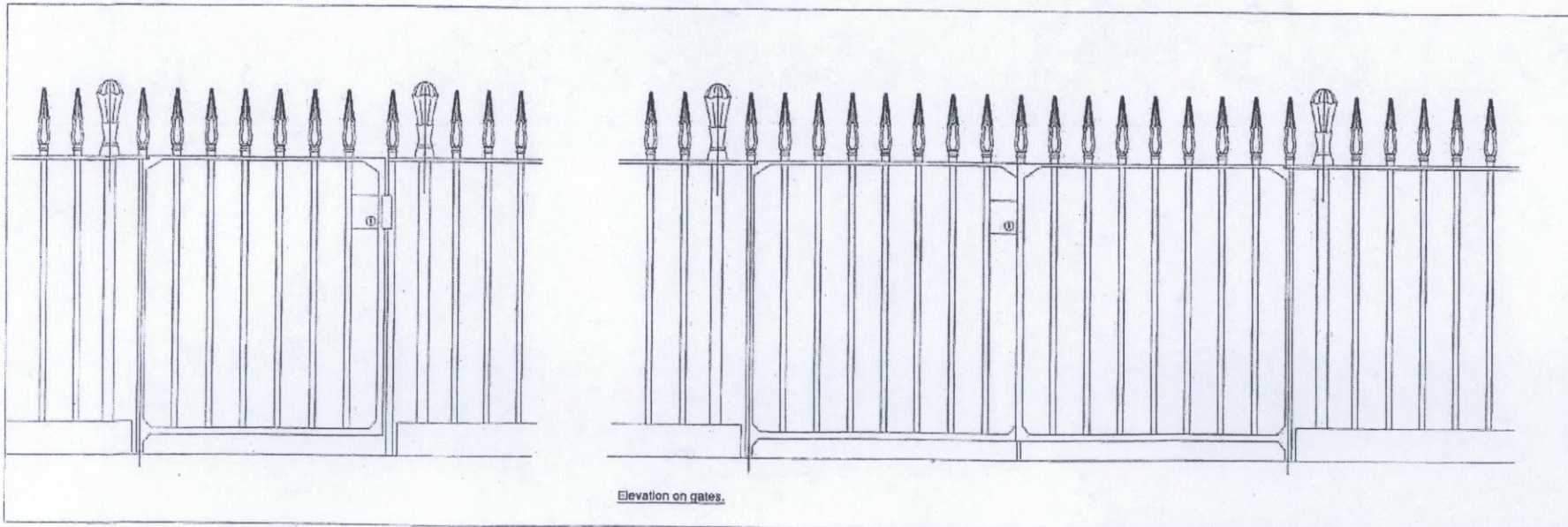
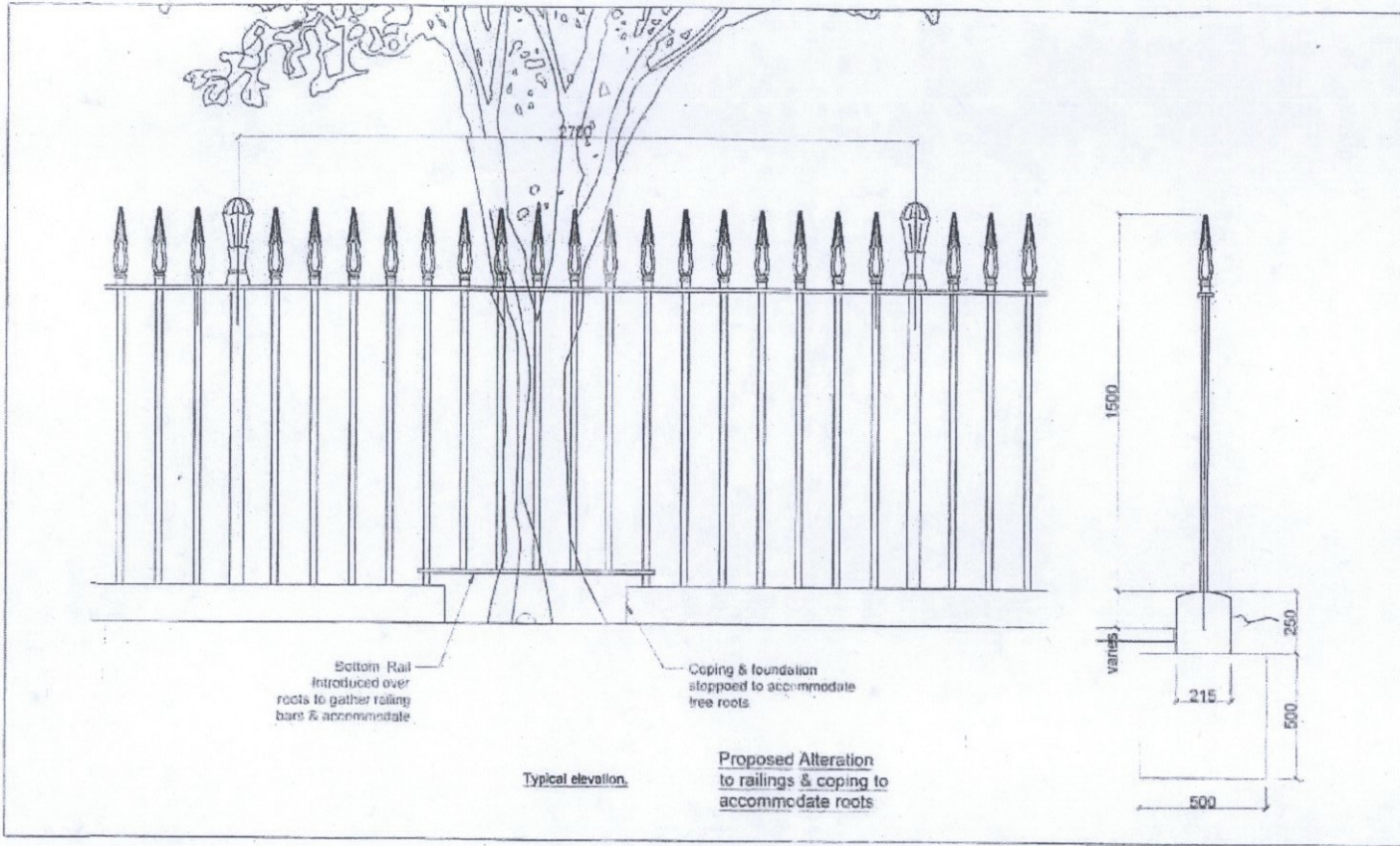
CLIENT
 The Church Commissioners

PROJECT
 Hyde Park Square & Gloucester Square

DRAWING TITLE
 Typical railings and gates

DRAWN BY	CHECKED BY	DATE	SCALE
PW		06/02/15	1:1

PROJECT No. [] DRAWING No. [] - Prelim-01



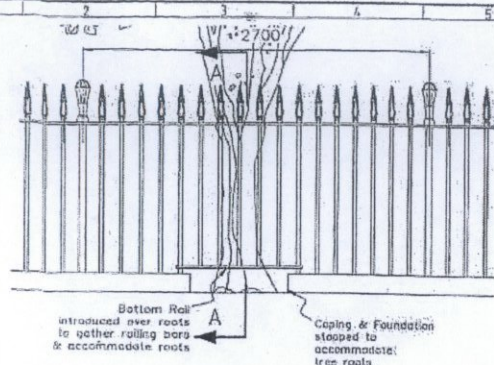
General Notes

Specification:
 25 dia bars @ 150 c/c
 50 dia posts
 65 x 116 flat top rail
 Forged railing heads to match existing.
 Bars leaded in to stone coping.

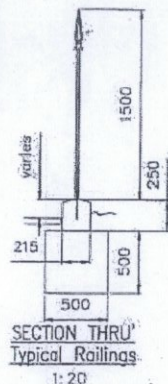
METALCRAFT
 TOTTENHAM LIMITED
4th FLOOR, 100, QUEEN'S GATE, TOTTENHAM, NORTH YORKSHIRE, LE19 4BQ

The Church Commissioners
 Hyde Park Square & Gloucester Square
 Typical railings and gates

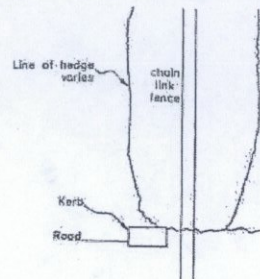
FW	05/2015	1-1
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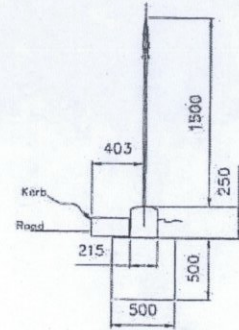
FRONT ELEVATION
Typical Railings at Small Trees
1:20



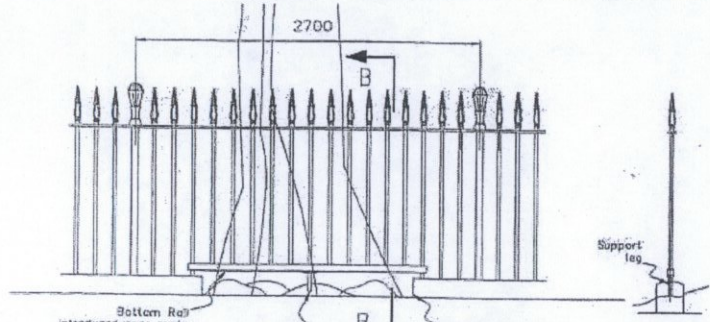
SECTIONAL A-A ELEVATION
1:20



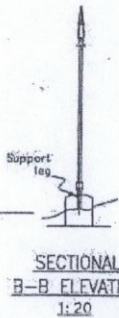
SECTION THRU Old Fencing
1:20



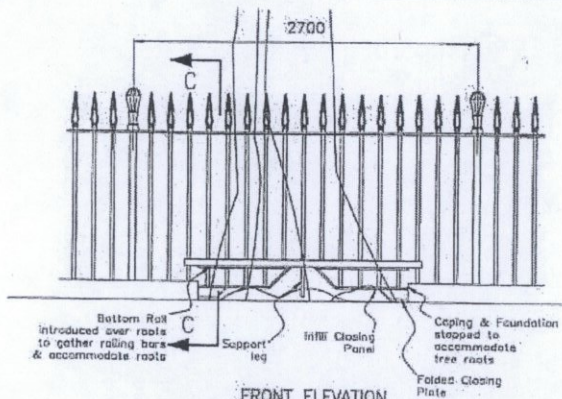
SECTION THRU New Railings
1:20



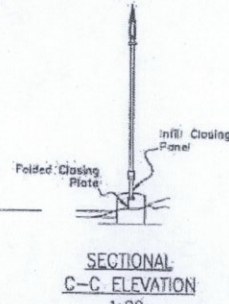
FRONT ELEVATION
Typical Railings at Large Trees
1:20



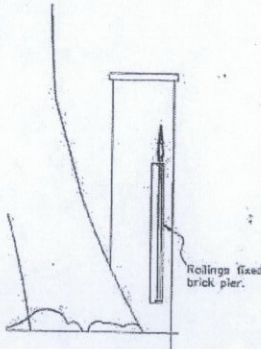
SECTIONAL B-B ELEVATION
1:20



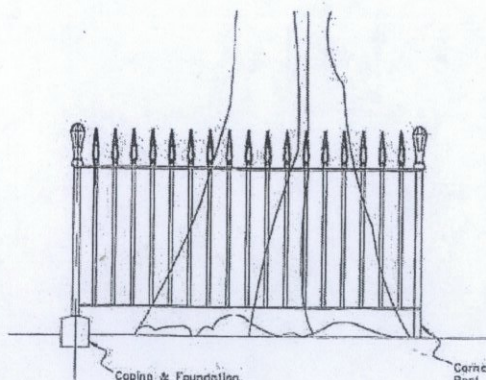
FRONT ELEVATION
Typical Railings at Large Trees with Infill Railings Under Rail
1:20



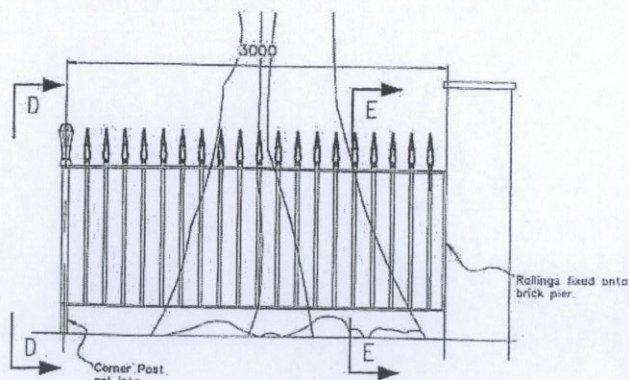
SECTIONAL C-C ELEVATION
1:20



SECTIONAL E-E ELEVATION
1:20



SECTIONAL D-D ELEVATION
1:20



FRONT ELEVATION
Corner Railing at Large Tree (Gloucester Square)
1:20

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General Notes
Component Characteristics
Tolerances of dimension and shape: EN 1090-2, Tolerance class 1
Weldability: EN 10025-2, S275 / S355
Fracture toughness / impact resistance: S275JR (27,000°C), S355 (35,000°C), Stainless 304 / 316
Load Bearing Capacity: Designed to BS5950 / EN 1993
Steel Specification: National Structural Steelwork Specification for Building Construction 6th Edition CE Marking
Welds: All welds to comply with MTL Welding Procedure Specifications (WPS)
Steel Grades: All UC / UB / PFC / RSA - S355-JR, All SHS / RHS / CHS - S355-J2, All Plates - S275-UNO



Rev.	Details	By	Date

Welded Structural Components
Execution Class 2 BS EN 1090

Hyde Park Sq, Sussex Sq & Gloucester Sq.

CLIENT
THE CHURCH COMMISSIONERS FOR ENGLAND

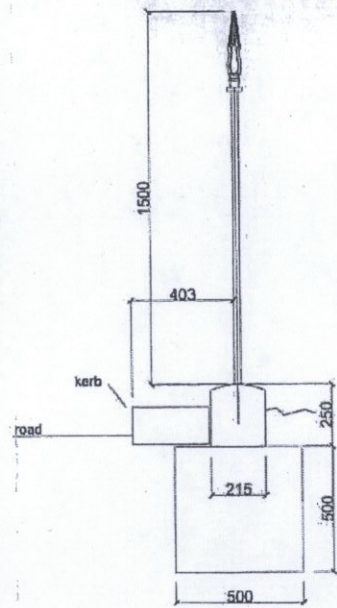
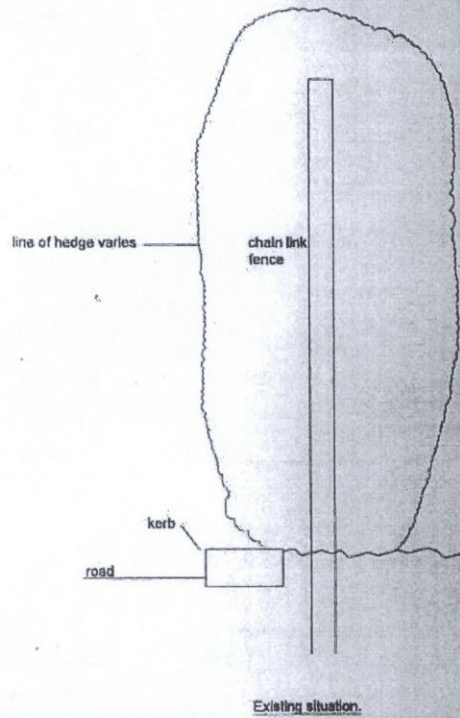
Project Number:	5366
Working Period:	21-08-13
Drawn By:	MDP (MDP)
Checked By:	MDP (MDP)
Status:	NOT APPROVED
Drawing Title:	RAILINGS AT TREE LOCATIONS GA

RAILINGS AT TREE LOCATIONS GA

Drawing Number: 11010

METALCRAFT
Tottenham Limited
5-40 Darnford Street
Seven Sisters Road
LONDON N15 6NQ
Tel: 020 8023 1110
Fax: 020 8023 1299
E-mail: sales@metalcraft.co.uk

Preliminary Proposals



General Notes

- This drawing must not be scaled
- Specification:
 25 dia bars @ 150 c/c.
 50 dia posts
 65 x 15 flat top rail
 Forged railing heads to match existing.
 Bars welded in to stone coping.

Index	Date	Description
C	09-09-15	Single gate added
B	07-04-15	Height revised
A	23-03-15	Height increased to 1500

REVISIONS

METALCRAFT
 TOTTENHAM LIMITED
STEEL FABRICATORS & ARCHITECTURAL METALWORK FINISH, MAINTENANCE

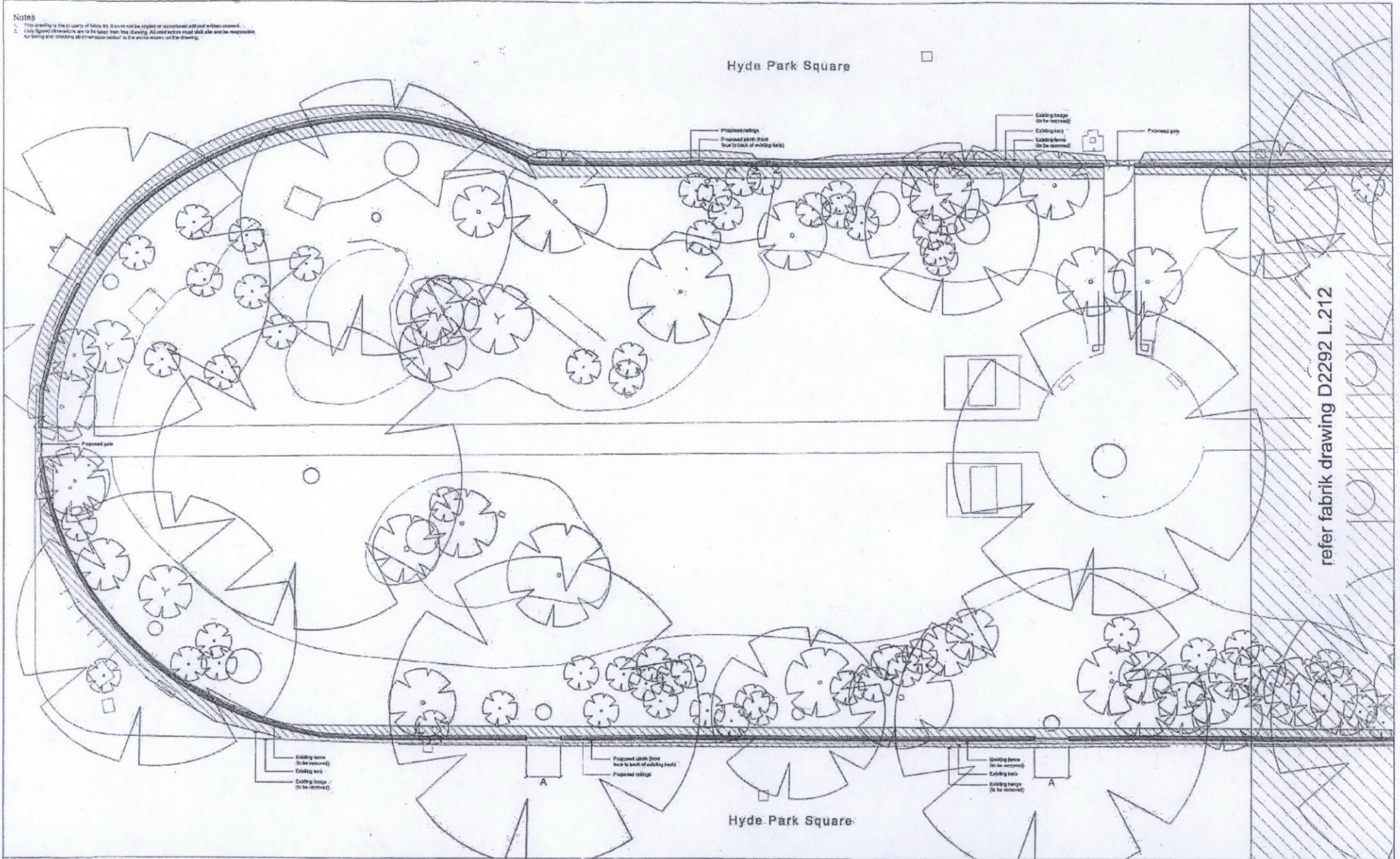
CLIENT
 The Church Commissioners

PROJECT
 Hyde Park Square & Gloucester Square

DRAWING TITLE
 Before and after conditions

DRAWN BY	CHECKED BY	DATE	SCALE
PW		14/01/15	1:1
PROJECT No.	DRAWING No.		

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Legend

Existing trees retained	Existing wall	Proposed 100mm height metal cladding (refer manufacturer's drawings for details)	A. Typical wall at each tree (refer manufacturer's drawings for details)
Existing paths	Existing fence	Proposed paths (refer manufacturer's drawings for details)	Proposed paths
Cladding to be replaced	Existing gate	Proposed gate (refer manufacturer's drawings for details)	

Scale: 1:100

North

AW
 AW
 Name

Pages
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners

Drawn
 Hyde Park Square: General Arrangement Plan
 (sheet 1 of 2)

Scale
 1:100 @ A1

Date
 Aug '15

Drawn
 AW

Revision
 B

Drawing No.
 D2292 L.211

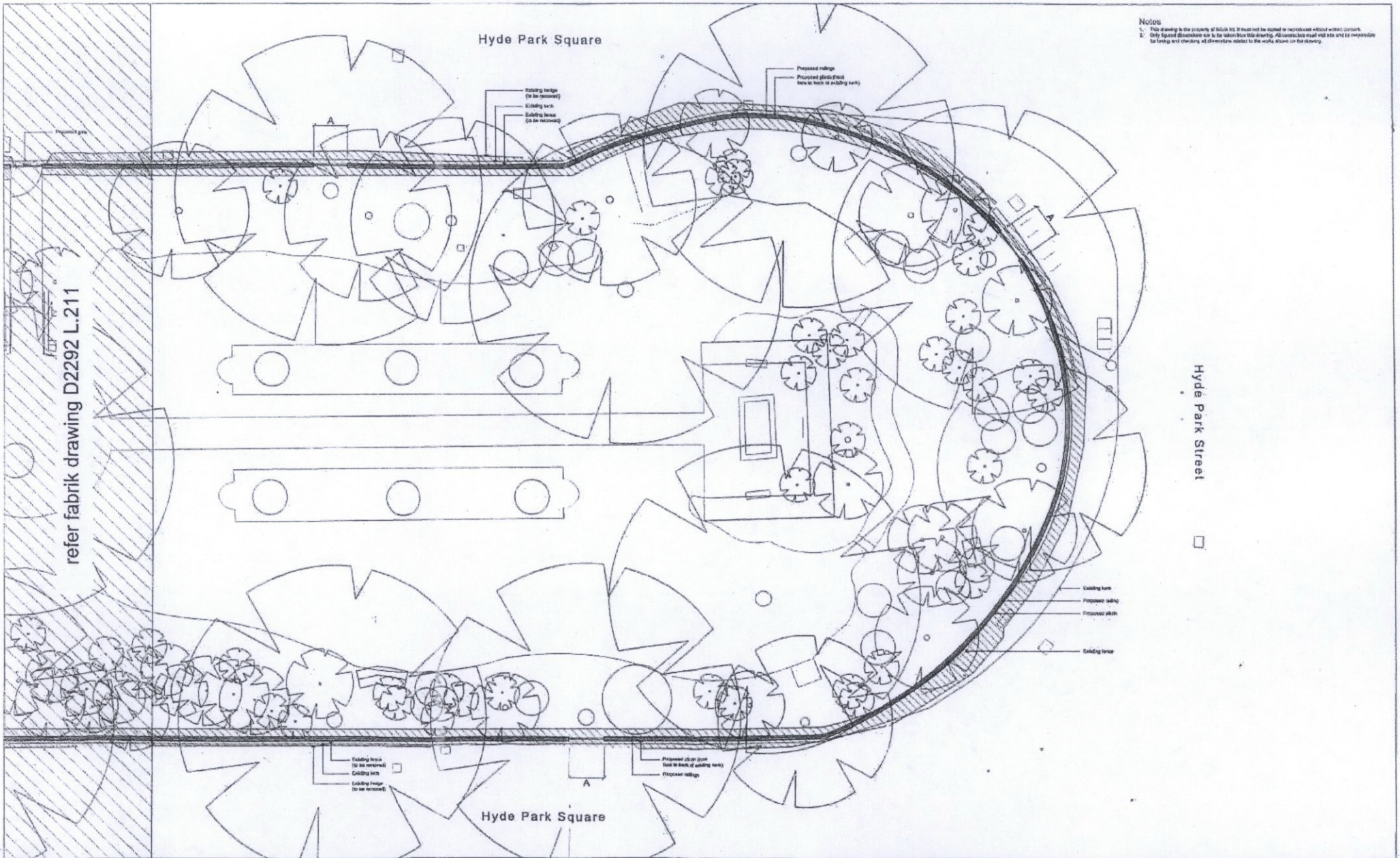
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issued for Design Approval
<input type="checkbox"/> Issued for Planning Approval	<input type="checkbox"/> Issued for Tender
<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> As Built

Drawing sheet size: A1
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Legend:	

Scale: 1:100

North

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners

Drawing: Hyde Park Square; General Arrangement Plan (sheet 2 of 2)

Drawn: AW
Checked: HAW

1. 23.05.11 Sheet name given. Alternative road alignments to accommodate and line colours. Issues.

2. 27.06.15 No. 02/15

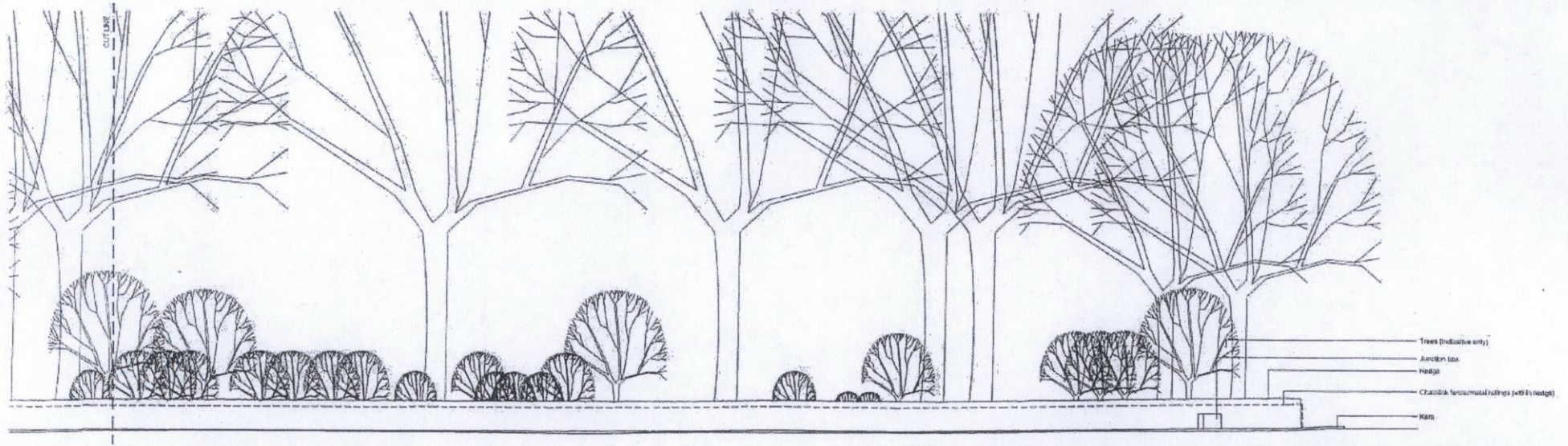
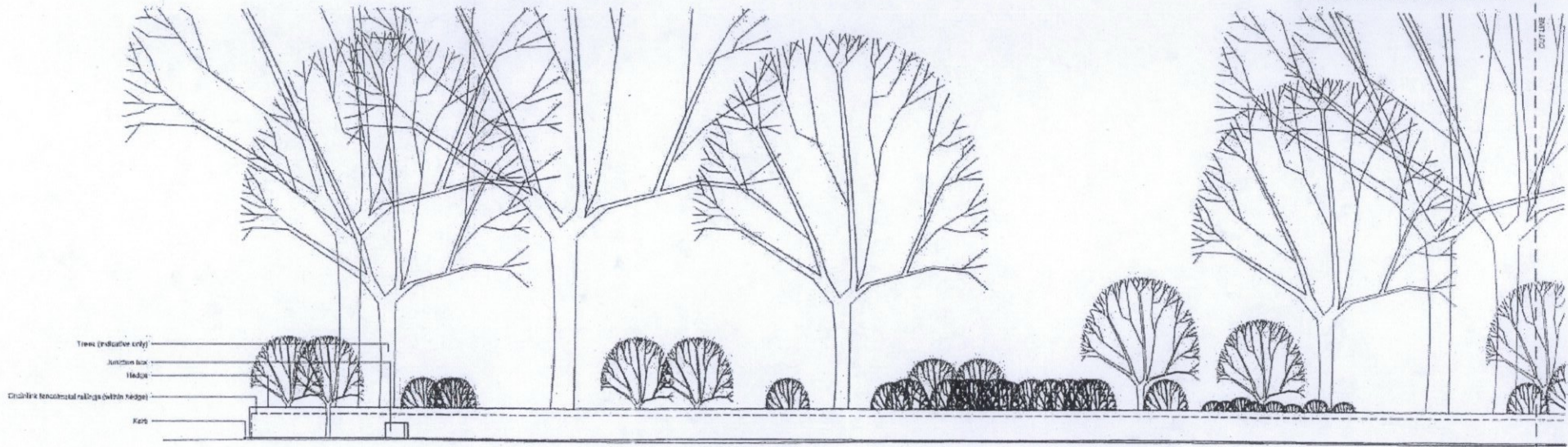
Revisions:

Approved/Authorised:

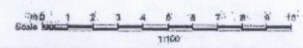
* 1614 HYDE PARK SQUARE v City Dept
* Hyde Park Square - CAD Block 02-1250.dwg

Drawn	1:100 @ A1	Date	Aug '15	Drawn	AW
Project No.	D2292 L.212	Revision		Revision	B
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issued for Design Evaluation	<input type="checkbox"/> Issued for Construction	<input type="checkbox"/> Issued for Tender	<input type="checkbox"/> As R.I.B.	
Drawing must also be in: A1					

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Elevation 1



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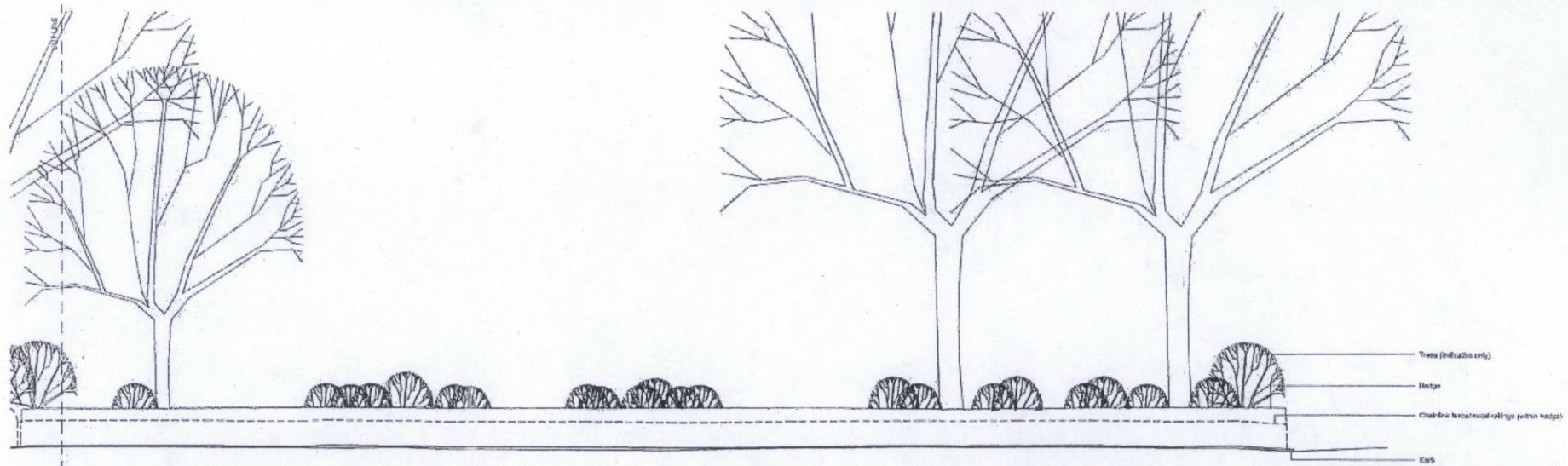
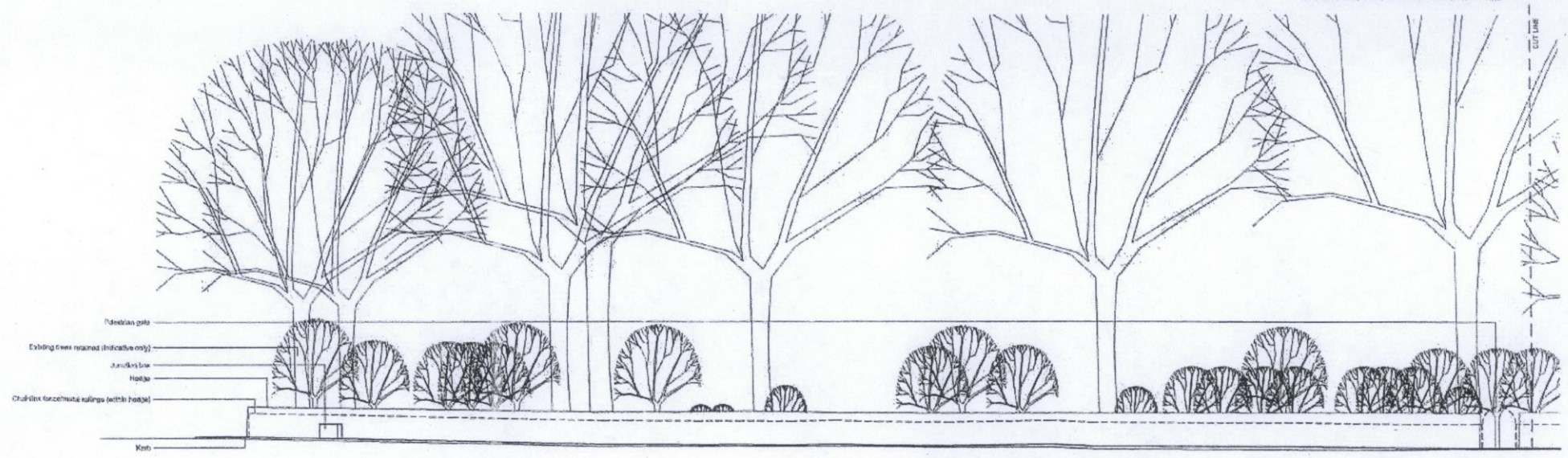
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 100 Abchurch Lane
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 Tel: +44 (0)20 7499 9999
 Email: info@fabrik.co.uk
 Website: www.fabrik.co.uk

Rev. Date Reason
 Approved: [Signature]
 100 Abchurch Lane, London EC4N 3DF
 100 Abchurch Lane, London EC4N 3DF

Project
 Sussex Square, Gloucester Square & Hyde Park Square,
 London
 for The Church Commissioners
 Drawing
 Hyde Park Square: Existing Elevations
 Sheet 1

Scale	1:100 @ A1	Date	Feb '15	Drawn	AW
Drawing No.	D2292 L 423			Revised	-
<input type="checkbox"/> Hydraulic <input type="checkbox"/> Materials Provided by Applicant <input type="checkbox"/> Materials for Excavation <input type="checkbox"/> As Shown	<input type="checkbox"/> Shaded by Site/Client/Author <input type="checkbox"/> Shaded by Tender <input type="checkbox"/> As Shown				
Drawing sheet size: A1		Copyright reserved			

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Elevation 2

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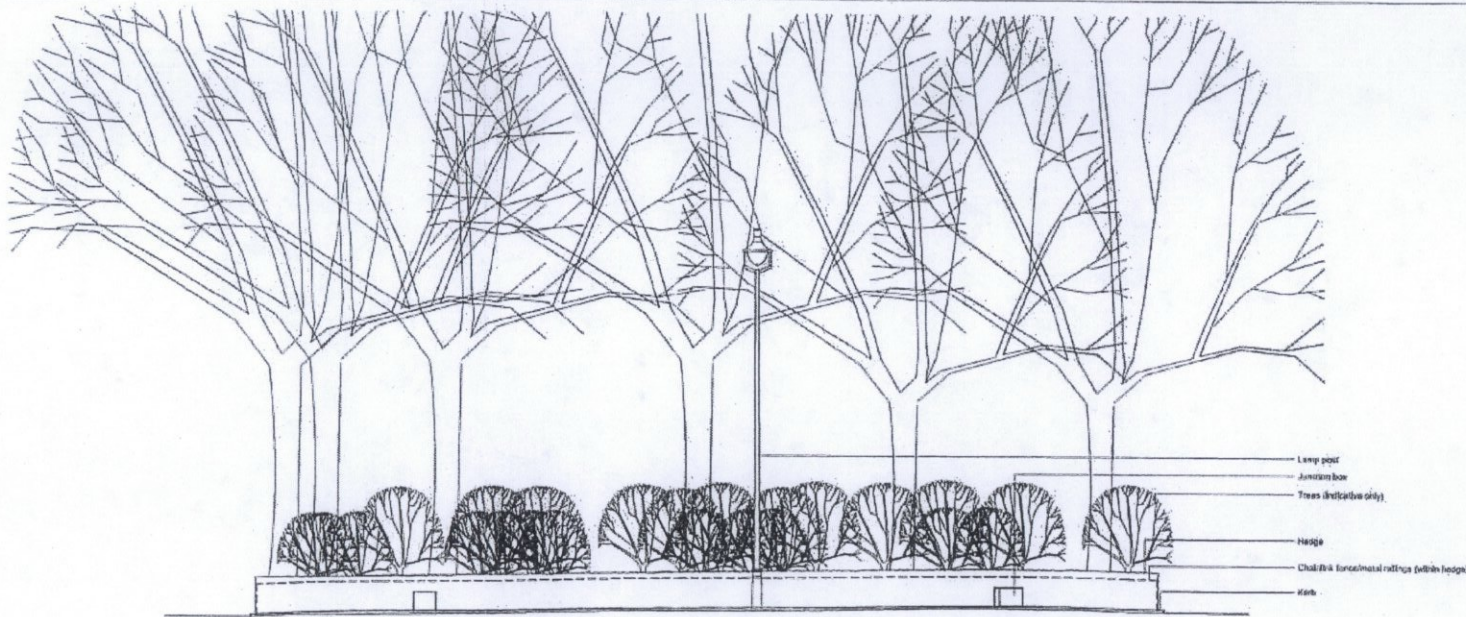
2015-16
 020 7546 222
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Site Data
 Project: SUSSEX SQUARE, GLOUCESTER SQUARE & HYDE PARK SQUARE - Church Commissioners
 Location: Gloucester Square - GND: 52.951, -1.304

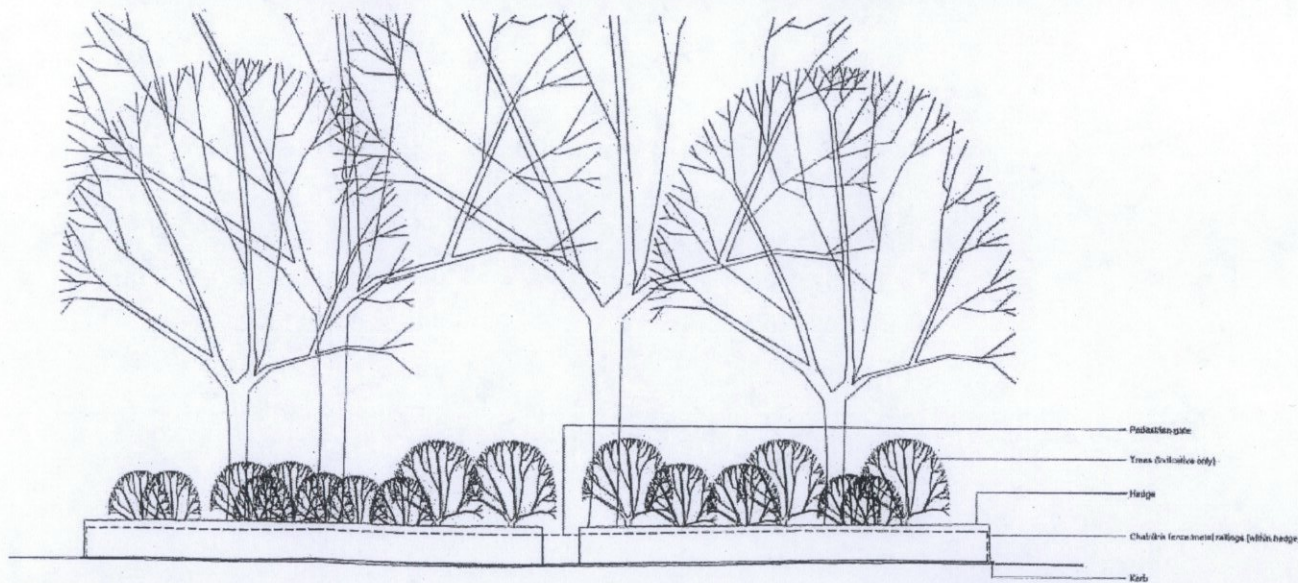
Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Sheet: Hyde Park Square: Existing Elevations Sheet 2

Scale: 1:100 @ A1	Date: Feb '15	Drawn: AW
Drawing No.: D2292 L.424	Revision:	
<input type="checkbox"/> Preliminary <input type="checkbox"/> Request for Planning Approval <input type="checkbox"/> Request for Construction	<input type="checkbox"/> Issues for Design/Build/Manage <input type="checkbox"/> Board for Lease <input type="checkbox"/> As Built	Copyright Reserved ©

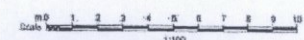
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Elevation 3



Elevation 4



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No. Date Release
Revisions
Related References:
• 10.3164/GLOUCESTER SQUARE - 05/09/15
• Gloucester Square - CAD 40/16/15 - 05/09/15

Project: Sussex Square, Gloucester Square & Hyde Park Square, London for The Church Commissioners
Sheet: Hyde Park Square; Existing Elevations Sheet 3

Scale: 1:100 @ A1
Date: Feb '15
Drawn by: D2292 L.425
Check: AW

<input type="checkbox"/> Preliminary	<input type="checkbox"/> Issue for Design/Review
<input type="checkbox"/> Issue for Planning Approval	<input type="checkbox"/> Issue for Tender
<input type="checkbox"/> Issue for Construction	<input type="checkbox"/> As Built

Drawn by: D2292 L.425
Checked by: AW